

**1**

**AGENDA ITEM  
Planning & Zoning**

Meeting

1/18/2024

MEETING DATE

**TO:** Planning and Zoning Board Members

**DATE:** January 8, 2024

**FROM:** Brandon Tirado, Planner

**PHONE:** 904 209-0593

**SUBJECT OR TITLE:** COMM 2023-46 Agricultural Center Warehouse Phase 2

**AGENDA TYPE:** Order

**PRESENTER:** Alex Acree, Matthews | DCCM

**BACKGROUND INFORMATION:**

Phase 2 of the Agricultural Center Warehouse development will consist of two (2) new Office/Warehouse buildings totaling approximately 36,400 square feet with associated access, utilities and stormwater management.

**SUGGESTED MOTION/RECOMMENDATION/ACTION:**

**Motion to approve Agricultural Center Warehouse Phase 2 Site Plan – Interstate Industrial Park, pursuant to Ordinance 1987-01, based upon two (2) findings of fact and one (1) conditions as provided in the Staff Report.**

**Motion to deny Agricultural Center Warehouse Phase 2 Site Plan – Interstate Industrial Park, pursuant to Ordinance 1987-01, based upon two (2) findings of fact as provided in the Staff Report.**



**Growth Management Department**  
Planning Division Report  
Application for Site Plan Review  
COMM 2023-46 Agricultural Center Warehouse Phase 2  
Commercial Site Plan Approval (Ordinance 87-1)

**To:** Planning and Zoning Agency

**From:** Brandon Tirado, Planner

**Date:** January 5, 2024

**Subject:** **COMM 2023-46 Agricultural Center Warehouse Phase 2-** A required site plan approval through PZA in accordance with Ordinance 1987-01

**Applicant:** Alex R. Acree, P.E., Matthews Design Group, Inc.

**Owner:** Southern States Pavement Markings, Inc.

**Hearing Dates:** Planning and Zoning Agency – January 18, 2024

**Commissioner District:** District 2

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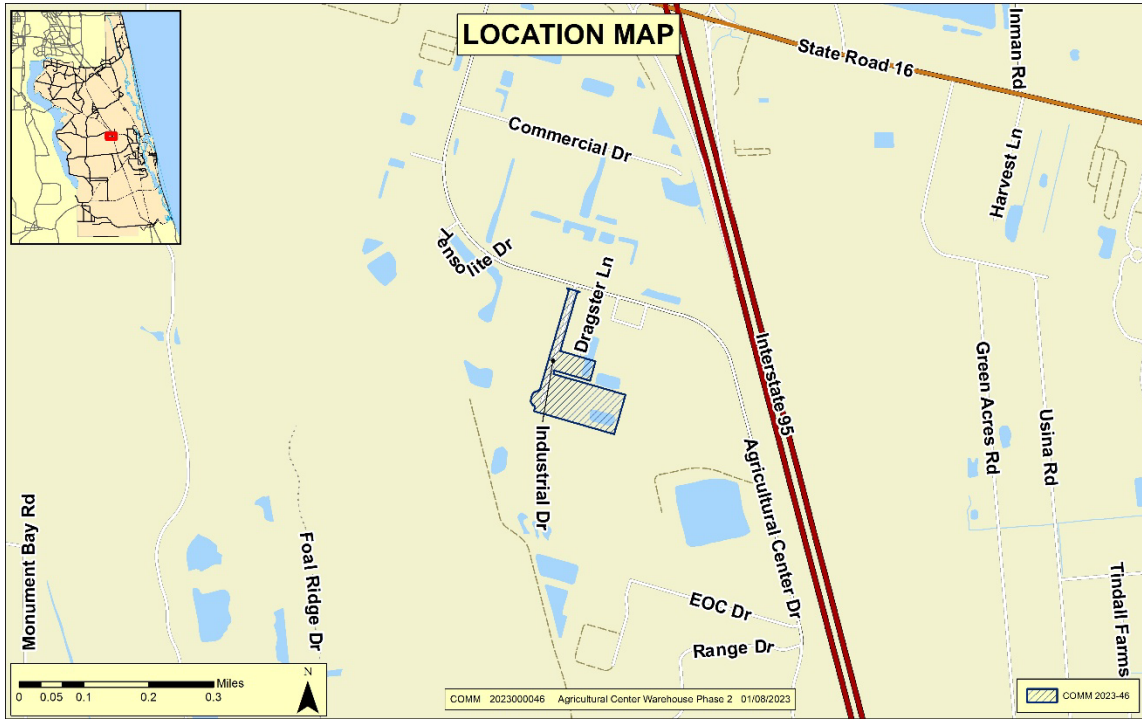
## SUGGESTED MOTION/ACTION

**APPROVE:** Motion to approve Agricultural Center Warehouse Phase 2 Site Plan – Interstate Industrial Park, pursuant to Ordinance 1987-01, adopting Findings of Fact 1-2 to support the motion, subject to the one (1) condition as identified in the staff report.

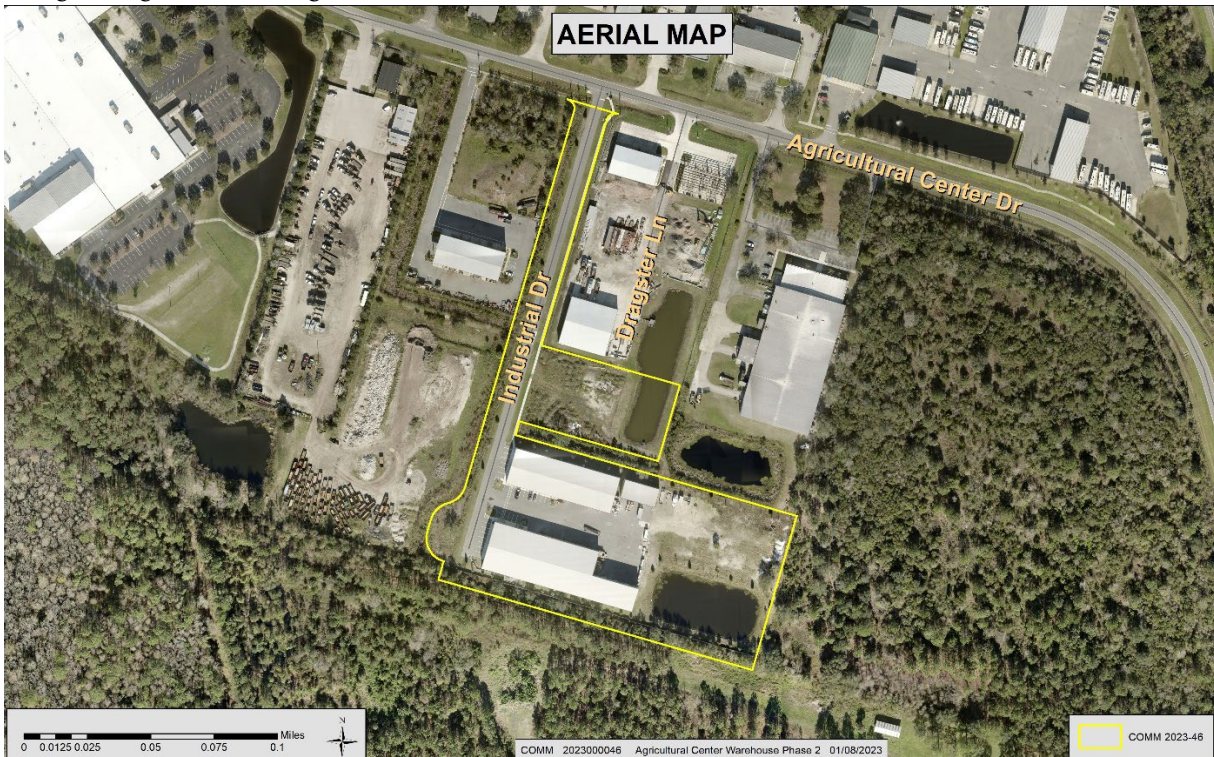
**DENY:** Motion to deny Agricultural Center Warehouse Phase 2 Site Plan – Interstate Industrial Park, pursuant to Ordinance 1987-01, adopting Findings of Fact 1-2 to support the motion as identified in the staff report.

**MAP SERIES**

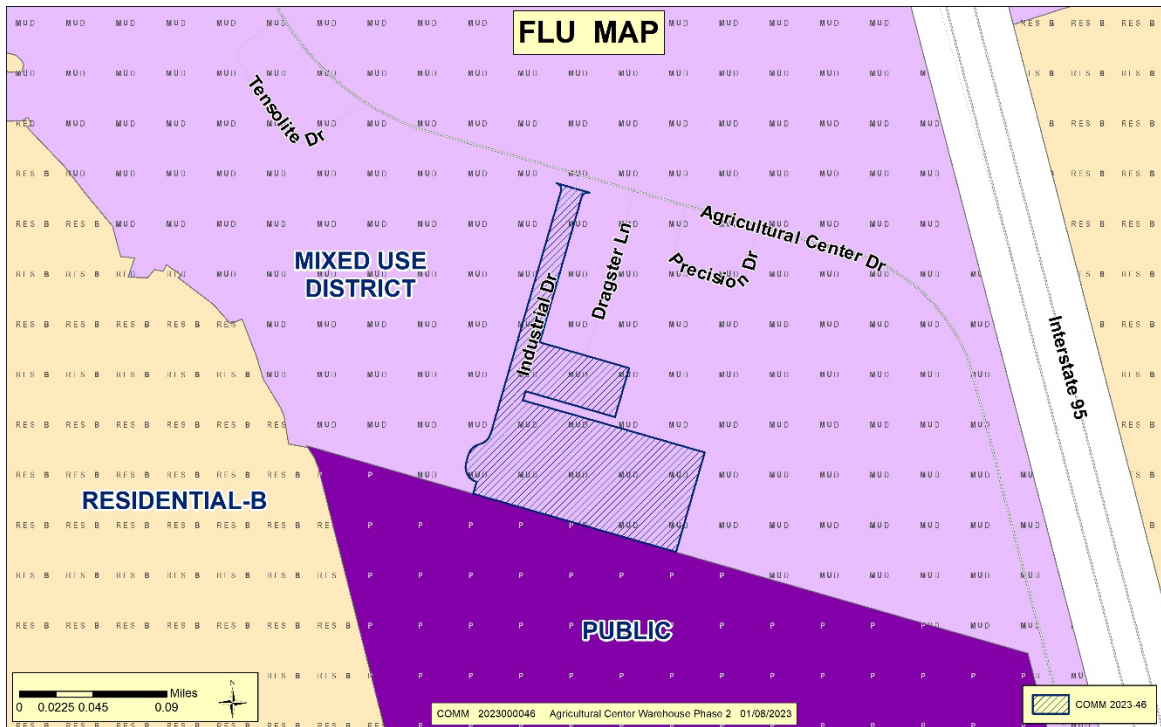
**Location:** The subject property is located west of Interstate 95 and south of County Road 208, within the Interstate Industrial Park. The parcel is approximately 7.6 acres in size with access provided by Agricultural Center Drive.



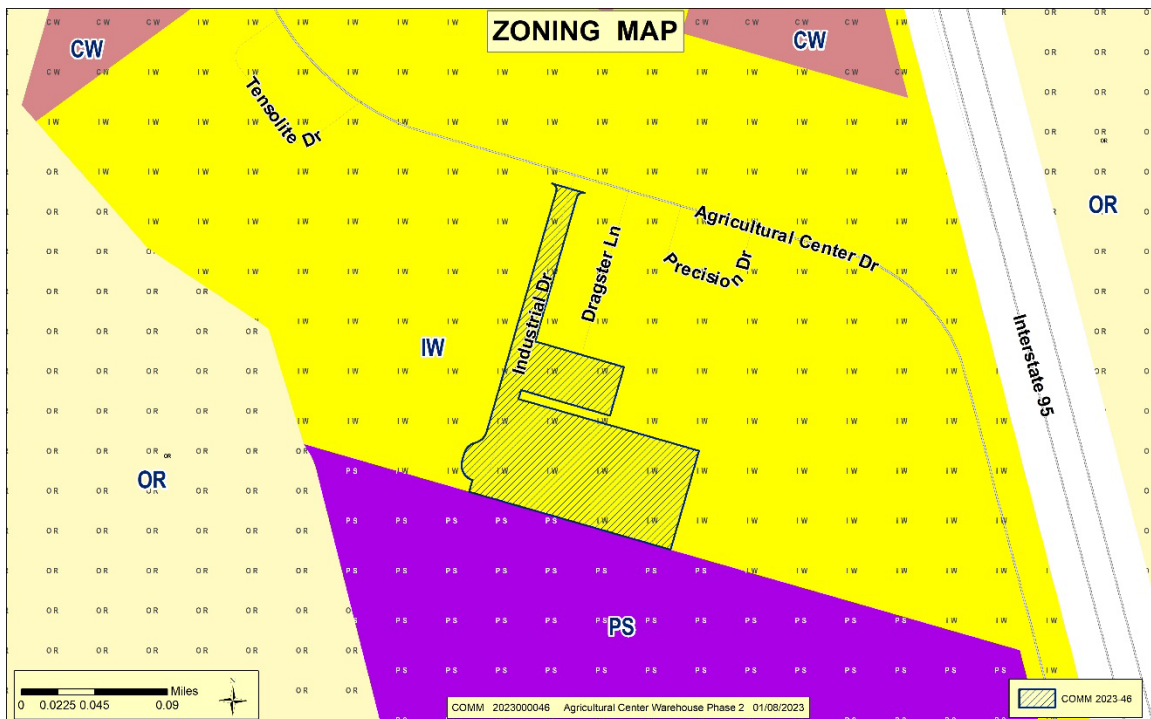
**Aerial Imagery:** The Interstate Industrial Park is currently developed with similar commercial, warehouse and industrial uses. The subject property is adjacent to Relo Partners, AWA Contracting and Truck Crane Solutions South LLC. The property also borders the St. Johns County Agricultural Center and Windstorm Damage Mitigation Training Center to the south.



**Future Land Use:** The subject property and adjacent lands are designated Mixed Use District on the Future Land Use Map (FLUM). The parcel also borders Public to the south and has surrounding Residential –B in the general area.



**Zoning District:** The subject property, along with the immediate area, is zoned Industrial Warehouse (IW) with conditions pursuant to Ordinance 87-1. The surrounding area also includes Open Rural (OR), Commercial Warehouse (CW), Commercial, Highway Tourist (CHT), and Terra Pines Reserve Planned Unit Development (PUD).

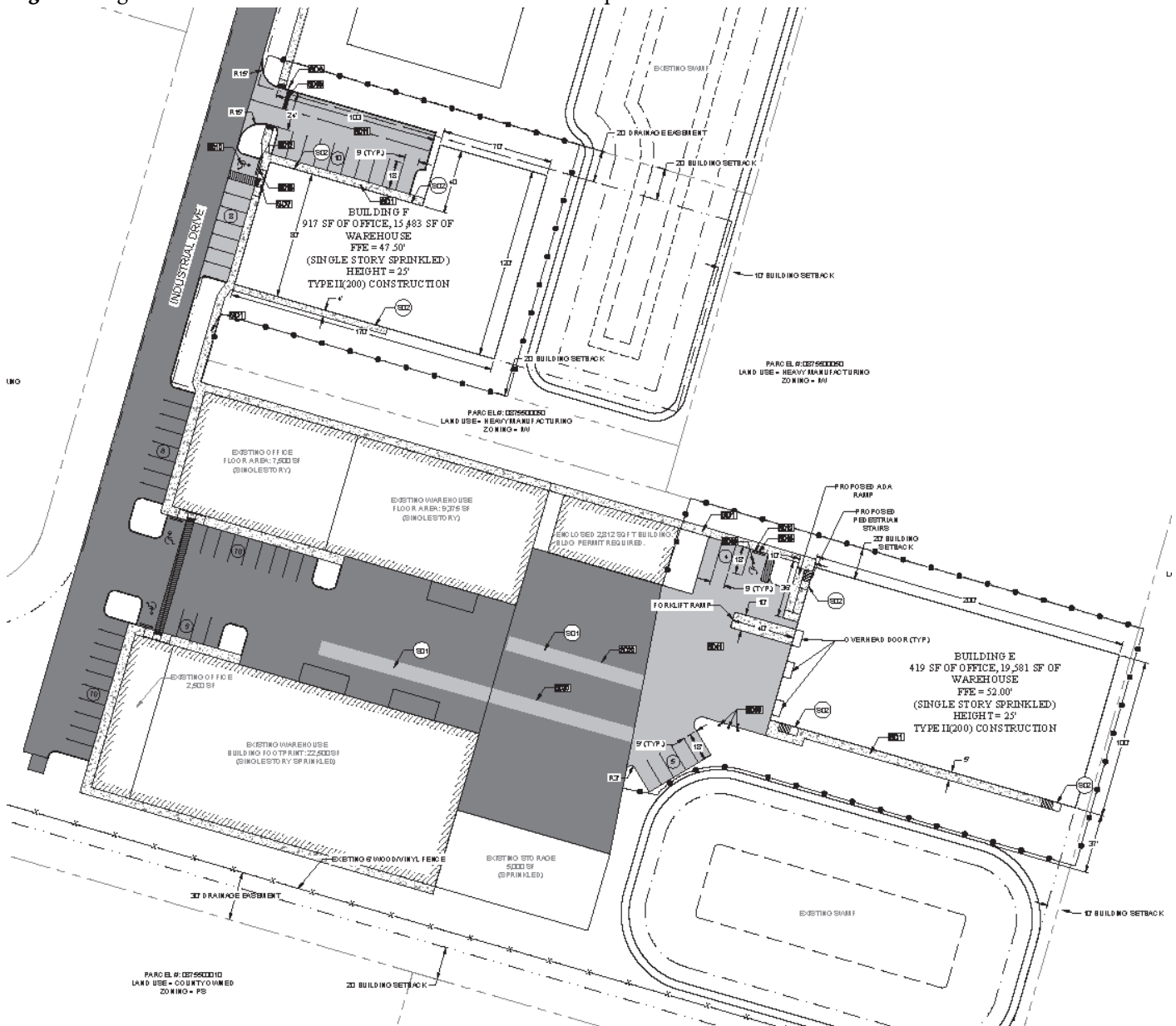


### APPLICATION SUMMARY

The applicant is requesting site plan approval to allow for Phase 2 of the existing office/warehouse development. Phase 2 consist of two newly proposed Office/Warehouse buildings totaling approximately 36,400 square feet, with associated utilities and stormwater management. The project is currently in review associated with the Commercial Plan Review process (COMM 2023-46). Pursuant to Ordinance 87-1, Planning and Zoning Agency review and approval of the site plan is required. Figure 1 is a clip of the proposed site plan depicting the existing structures and stormwater management as well as the location of the two newly proposed buildings (Buildings E and F). A full commercial plan set have been provided as **Attachment 2**. Application and Supporting Documents

**Proposed Site Plan:** The submitted site plan depicting the existing site with the location of the two proposed Office/Warehouse Buildings and associated infrastructure.

**Figure 1:** Agricultural Center Warehouse Phase 2 Site Plan Clip



## DEPARTMENTAL REVIEW

The Planning and Zoning Division has routed this request to all appropriate reviewing departments. There are no open comments.

### **Planning and Zoning Division Review:**

The site plan, as presented, demonstrates compliance with applicable signage, lighting, impervious surface ratio, building coverage, building height, floor area ratio, and setbacks for Industrial Warehousing (IW) zoning and additional conditions required for the Interstate Industrial Park, Ordinance 1987-1, which is included in **Attachment 3. Ordinance 1987-1, Interstate Industrial Park**. The site will provide a minimum of 27 additional parking spaces based on the office and warehouse square footage with required number of ADA spaces, totaling 60 parking spaces for the entire site. The site development will maintain the 30-foot landscape buffer with a type “B” screening, which includes a 6-foot tall wooden fence, to address compatibility with County owned property to the south utilized as the UF/IFAS Cooperative Extension Service and Agricultural Center.

## ATTACHMENTS

1. Final Orders
2. Application and Supporting Documents
3. Ordinance 1987-1, Interstate Industrial Park

**SUGGESTED MOTION / FINDINGS / CONDITIONS TO APPROVE REQUEST**

Motion to approve Agricultural Center Warehouse Phase 2 Site Plan – Interstate Industrial Park, located on Agricultural Center Drive, pursuant to Ordinance 87-1, subject to the following conditions:

1. The Site Plan (Exhibit B) shall be consistent with approved Development Permit issued by St. Johns County; however, changes may be made to accommodate jurisdictional agency requirements or compliance with other required Codes as necessary.

*(Additional conditions may be added as a result of the public hearing).*

**Suggested Findings:**

1. The request is consistent with the conditions set forth by Ordinance 87-1.
2. The request is not in conflict with the Future Land Use Map designation of Mixed Use (MD).

*(The Agency may choose any or all of the above Findings or may provide additional Findings to support the motion.)*

**SUGGESTED MOTION / FINDINGS TO DENY REQUEST**

Motion to deny Agricultural Center Warehouse Phase 2 Site Plan – Interstate Industrial Park, pursuant to Ordinance 87-1, located on Agricultural Center Drive.

1. The request is not consistent with the conditions set forth in Ordinance 87-1.
2. The request is not in conflict with the Future Land Use Map designation of Mixed Use (MD).

*(The Agency may choose any or all of the above Findings or may provide additional Findings to support the motion.)*

**ATTACHMENT 1**  
**RECORDED DOCUMENTS SECTION**



**BEGIN DOCUMENTS  
TO BE RECORDED**



ORDER  
ST. JOHNS COUNTY, FLORIDA  
PLANNING AND ZONING AGENCY

RE: Alex R. Acree, P.E.  
Matthews Design Group, Inc.  
7 Waldo Street  
St. Augustine, FL 32084

FILE NUMBER: COMM 2023-46

LEGAL: Exhibit A

SITE PLAN: Exhibit B

PARCEL ID: 087550-0300

DATE OF HEARING: January 18, 2024

ORDER GRANTING SITE PLAN APPROVAL

The above referenced application for Site Plan Approval for the construction of two proposed office/warehouse buildings totaling 36,400 square feet, with associated utilities and stormwater management, pursuant to Ordinance 87-1, specifically located on property at Agricultural Center Drive, came before the Planning & Zoning Agency for public hearing on January 18, 2024.

FINDINGS OF FACT

Having considered the application, along with supporting documents; the Staff report prepared by staff; statements by the applicant; and all evidence presented during public hearing, the Agency finds as follows:

1. The request is consistent with the conditions set forth by Ordinance 87-1.
2. The request is not in conflict with the Future Land Use Map designation of Mixed Use (MD).

**NOW THEREFORE**, based on the said Findings of Fact, the Agency hereby grants the request Site Plan Approval for the construction of two proposed office/warehouse buildings totaling 36,400 square feet, with associated utilities and stormwater management, pursuant to Ordinance 87-1, specifically located on property at Agricultural Center Drive, subject to the following condition:

1. The Site Plan (Exhibit B) shall be consistent with approved Development Permit issued by St. Johns County Operations Division; however, changes may be made to accommodate jurisdictional agency requirements or compliance with other required Codes as necessary

This decision may be appealed to the St. Johns County Board of County Commissioners within thirty (30) days of the signing of this Order, pursuant to Section 9.07.03 of the Land Development Code.

Deed Restrictions, if any, are not affected by the actions of the Agency or this Order.

All applicable state or federal permits must be obtained before commencement of the development. Issuance of a development permit or development order by a county does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the county for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

PLANNING AND ZONING AGENCY OF ST. JOHNS COUNTY FLORIDA

\_\_\_\_\_  
Chair/Vice-Chair

The undersigned Clerk to the Planning and Zoning Agency of St. Johns County, Florida certifies that the above Order of the Planning and Zoning Agency is a true and correct rendition of the Order adopted by said Agency as the same appears in the record of the Planning and Zoning Agency minutes.

\_\_\_\_\_  
Clerk  
Growth Management Department

\_\_\_\_\_  
Date Filed

## Exhibit "A"

A PARCEL OF LAND IN SECTION 7, TOWNSHIP 7 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA AND BEING MORE FULLY DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF STATE ROAD NO. 208 WITH THE CENTERLINE OF INTERSTATE ROUTE 95; THENCE SOUTH 14 DEGREES 35 MINUTES 20 SECONDS EAST, ON SAID CENTERLINE OF INTERSTATE ROUTE 95, A 300 FOOT WIDTH RIGHT OF WAY, 1,117.49 FEET; THENCE SOUTH 75 DEGREES 24 MINUTES 40 SECONDS WEST, 150.00 FEET TO THE POINT OF INTERSECTION OF THE WEST RIGHT OF WAY LINE OF SAID INTERSTATE ROUTE 95 WITH THE WEST RIGHT OF WAY LINE OF THE SOUTH BOUND RAMP OF SAID INTERSTATE ROUTE 95; THENCE SOUTH 14 DEGREES 35 MINUTES 20 SECONDS EAST, ON WEST RIGHT OF WAY LINE OF INTERSTATE ROUTE 95, A DISTANCE OF 2,798.26 FEET; THENCE NORTH 73 DEGREES 56 MINUTES 00 SECONDS WEST 185.99 FEET TO THE WEST RIGHT OF WAY LINE OF AGRICULTURAL CENTER DRIVE, A 100 FOOT WIDTH RIGHT OF WAY; THENCE CONTINUING NORTH 73 DEGREES 56 MINUTES 00 SECONDS WEST, ON THE NORTHERLY LINE OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 615, PAGE 366, A DISTANCE OF 1,180.40 FEET TO THE POINT OF BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUING NORTH 73 DEGREES 56 MINUTES 00 SECONDS WEST, ON SAID NORTHERLY LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 615, PAGE 366, AND ON THE NORTHERLY LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 1292, PAGE 936, OF SAID PUBLIC RECORDS, 680.00 FEET; THENCE NORTH 16 DEGREES 04 MINUTES 00 SECONDS EAST 40.00 FEET TO A POINT ON A NON-TANGENT CURVE; THENCE ON SAID NON-TANGENT CURVE WITH RADIUS OF 50.00 FEET, THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 78.54 FEET (CHORD = NORTH 28 DEGREES 56 MINUTES 00 SECONDS WEST - 70.71 FEET); THENCE NORTH 16 DEGREES 04 MINUTES 00 SECONDS EAST, 26.00 FEET TO THE POINT OF A CURVE TO THE RIGHT; THENCE ON SAID CURVE TO THE RIGHT WITH RADIUS OF 50.00 FEET THROUGH A CENTRAL ANGLE OF 60 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 52.36 FEET (CHORD = NORTH 46 DEGREES 04 MINUTES 00 SECONDS EAST - 50.00 FEET); TO A POINT OF REVERSE CURVE; THENCE ON A CURVE TO THE LEFT WITH A RADIUS OF 50.00 FEET THROUGH A CENTRAL ANGLE OF 60.00 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 52.36 FEET (CHORD = NORTH 46 DEGREES 04 MINUTES 00 SECONDS EAST - 50.00 FEET); THENCE NORTH 16 DEGREES 04 MINUTES 00 SECONDS EAST, ON THE EAST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 796, PAGE 1002, WEST PART, 814.80 FEET TO A POINT OF A CURVE TO THE LEFT; THENCE ON A CURVE TO THE LEFT WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 31.42 FEET (CHORD = NORTH 28 DEGREES 55 MINUTES 39 SECONDS WEST - 28.29 FEET) TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID AGRICULTURAL CENTER DRIVE; THENCE SOUTH 73 DEGREES 56 MINUTES 00 SECONDS EAST, ON SAID SOUTHERLY RIGHT OF WAY LINE OF SAID AGRICULTURAL CENTER DRIVE, 110.00 FEET TO A POINT ON A NON-TANGENT CURVE; THENCE ON SAID NON-TANGENT CURVE WITH RADIUS OF 20.00 FEET, THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 31.42 FEET (CHORD = SOUTH 61 DEGREES 04 MINUTES 21 SECONDS WEST - 28.29 FEET); THENCE SOUTH 16 DEGREES 04 MINUTES 00 SECONDS WEST, ON THE WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 796, PAGE 1002, EAST PART, 488.47 FEET; THENCE SOUTH 73 DEGREES 56 MINUTES 00 SECONDS EAST, ON SOUTH LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 796, PAGE 1002, EAST PART, 300.00 FEET; THENCE SOUTH 16 DEGREES 04 MINUTES 00 SECONDS WEST, ON THE WEST LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 773, PAGE 758, OF SAID PUBLIC RECORDS, 164.53 FEET; THENCE NORTH 73 DEGREES 56 MINUTES 00 SECONDS WEST, 300.00 FEET; THENCE SOUTH 16 DEGREES 04 MINUTES 00 SECONDS WEST, 30.00 FEET; THENCE SOUTH 73 DEGREES 56 MINUTES 00 SECONDS EAST, ON THE SOUTH LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 773, PAGE 758, OF SAID PUBLIC RECORDS, 610.00 FEET; THENCE SOUTH 16 DEGREES 04 MINUTES 00 SECONDS WEST, ON THE WESTERLY LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 805, PAGE 1591, OF SAID PUBLIC RECORDS, 334.40 FEET TO THE POINT OF BEGINNING.

**SITE PLAN**

**REVISIONS**

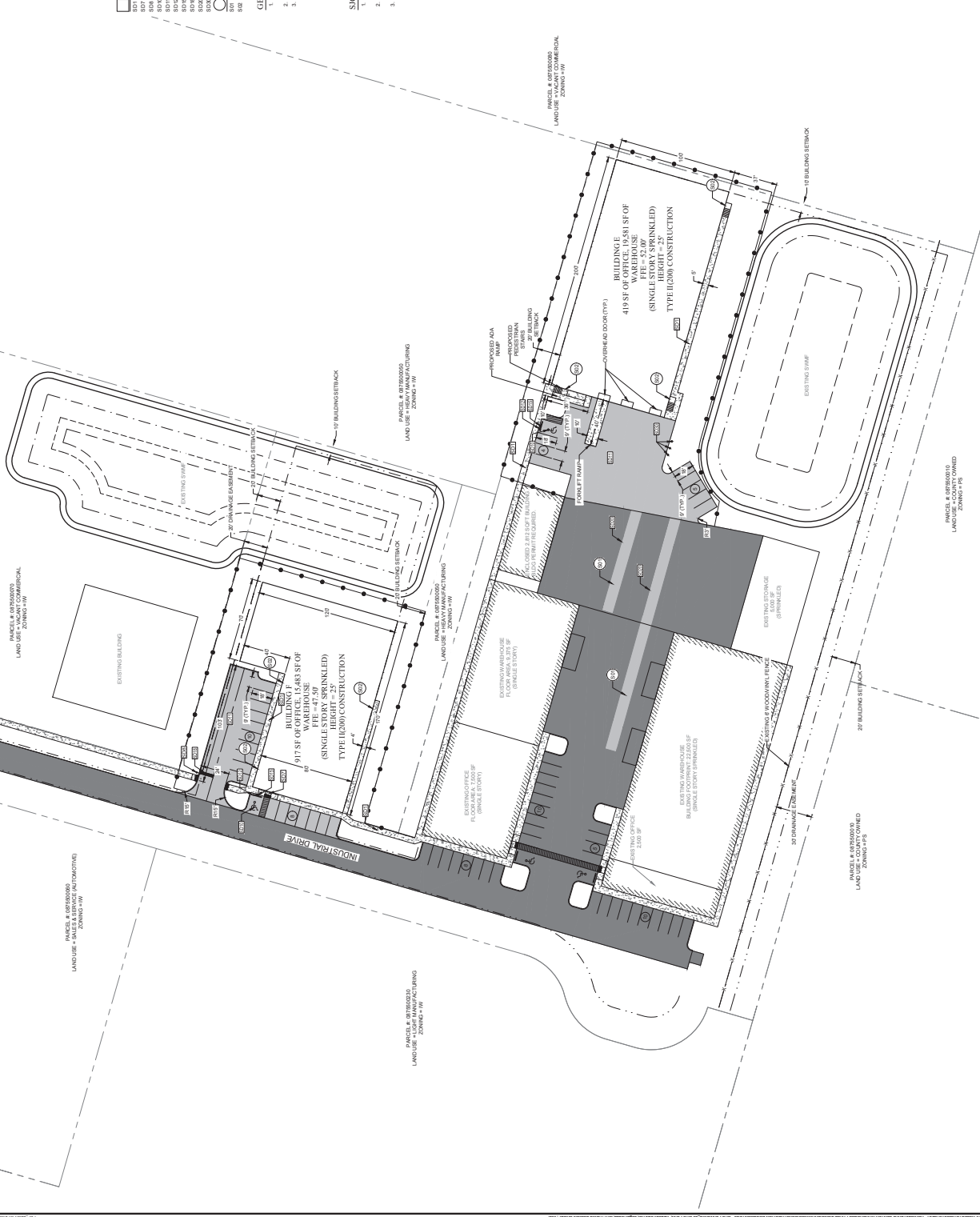
NO.	DATE	DESCRIPTION
01	03-24-2023	PER SJC COMMENTS

**SITE DATA TABLE**

ITEM	DESCRIPTION	AMOUNT
TOTAL SITE AREA	1,000,000 SF	
TOTAL BUILDING AREA	1,000,000 SF	
TOTAL OFFICE AREA	1,000,000 SF	
TOTAL WAREHOUSE AREA	1,000,000 SF	
TOTAL PARKING AREA	1,000,000 SF	
TOTAL DRIVEWAY AREA	1,000,000 SF	
TOTAL UTILITY AREA	1,000,000 SF	
TOTAL FUTURE DEVELOPMENT	1,000,000 SF	
TOTAL EXISTING	1,000,000 SF	
TOTAL PROPOSED	1,000,000 SF	
TOTAL IMPROVED	1,000,000 SF	
TOTAL UNIMPROVED	1,000,000 SF	
TOTAL PAVED	1,000,000 SF	
TOTAL UNPAVED	1,000,000 SF	
TOTAL ASPHALT	1,000,000 SF	
TOTAL CONCRETE	1,000,000 SF	
TOTAL GRAVEL	1,000,000 SF	
TOTAL SAND	1,000,000 SF	
TOTAL SOIL	1,000,000 SF	
TOTAL VEGETATION	1,000,000 SF	
TOTAL TREES	1,000,000 SF	
TOTAL SHRUBS	1,000,000 SF	
TOTAL GRASS	1,000,000 SF	
TOTAL OPEN SPACE	1,000,000 SF	

**SITE DETAILS**

- SD1 CONCRETE SBRWALK DETAIL
- SD2 CONCRETE SBRWALK DETAIL WITH CURB
- SD3 CONCRETE SBRWALK DETAIL WITH CURB AND SIDEWALK
- SD4 CONCRETE SBRWALK DETAIL WITH CURB AND SIDEWALK
- SD5 CONCRETE SBRWALK DETAIL WITH CURB AND SIDEWALK
- SD6 PRECAST CONCRETE WHEELSTOP
- SD7 PRECAST CONCRETE WHEELSTOP
- SD8 ASPHALT PAVING SECTION
- SD9 ASPHALT PAVING SECTION
- SD10 ASPHALT PAVING SECTION
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ORDER  
ST. JOHNS COUNTY, FLORIDA  
PLANNING AND ZONING AGENCY

RE: Alex R. Acree, P.E.  
Matthews Design Group, Inc.  
7 Waldo Street  
St. Augustine, FL 32084

FILE NUMBER: COMM 2023-46

LEGAL: Exhibit A

PARCEL ID: 087550-0300

DATE OF HEARING: January 18, 2024

ORDER DENYING SITE PLAN APPROVAL

The above referenced application for Site Plan Approval to allow for the construction of two proposed office/warehouse buildings totaling 36,400 square feet, with associated utilities and stormwater management, pursuant to Ordinance 87-1, specifically located on property at Agricultural Center Drive, came before the Planning & Zoning Agency for public hearing on January 18, 2024.

FINDINGS OF FACT

Having considered the application, along with supporting documents; the Staff report prepared by staff; statements by the applicant; and all evidence presented during public hearing, the Agency finds as follows:

1. The request is not consistent with the conditions set forth by Ordinance 87-1.
2. The request is in conflict with the Future Land Use Map designation of Mixed Use (MD).

**NOW THEREFORE**, based on the said Findings of Fact, the Agency hereby denies the Site Plan Approval for the construction of two proposed office/warehouse buildings totaling 36,400 square feet, with associated utilities and stormwater management, pursuant to Ordinance 87-1, specifically located on property at Agricultural Center Drive

This decision may be appealed to the St. Johns County Board of County Commissioners within thirty (30) days of the signing of this Order, pursuant to Section 9.07.03 of the Land Development Code.

Deed Restrictions, if any, are not affected by the actions of the Agency or this Order.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

PLANNING AND ZONING AGENCY OF ST. JOHNS COUNTY FLORIDA

\_\_\_\_\_  
Chair/Vice-Chair

The undersigned Clerk to the Planning and Zoning Agency of St. Johns County, Florida certifies that the above Order of the Planning and Zoning Agency is a true and correct rendition of the Order adopted by said Agency as the same appears in the record of the Planning and Zoning Agency minutes.

\_\_\_\_\_  
Clerk  
Growth Management Department

\_\_\_\_\_  
Date Filed

## Exhibit "A"

A PARCEL OF LAND IN SECTION 7, TOWNSHIP 7 SOUTH, RANGE 29 EAST, ST. JOHNS COUNTY, FLORIDA AND BEING MORE FULLY DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF STATE ROAD NO. 208 WITH THE CENTERLINE OF INTERSTATE ROUTE 95; THENCE SOUTH 14 DEGREES 35 MINUTES 20 SECONDS EAST, ON SAID CENTERLINE OF INTERSTATE ROUTE 95, A 300 FOOT WIDTH RIGHT OF WAY, 1,117.49 FEET; THENCE SOUTH 75 DEGREES 24 MINUTES 40 SECONDS WEST, 150.00 FEET TO THE POINT OF INTERSECTION OF THE WEST RIGHT OF WAY LINE OF SAID INTERSTATE ROUTE 95 WITH THE WEST RIGHT OF WAY LINE OF THE SOUTH BOUND RAMP OF SAID INTERSTATE ROUTE 95; THENCE SOUTH 14 DEGREES 35 MINUTES 20 SECONDS EAST, ON WEST RIGHT OF WAY LINE OF INTERSTATE ROUTE 95, A DISTANCE OF 2,798.26 FEET; THENCE NORTH 73 DEGREES 56 MINUTES 00 SECONDS WEST 185.99 FEET TO THE WEST RIGHT OF WAY LINE OF AGRICULTURAL CENTER DRIVE, A 100 FOOT WIDTH RIGHT OF WAY; THENCE CONTINUING NORTH 73 DEGREES 56 MINUTES 00 SECONDS WEST, ON THE NORTHERLY LINE OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 615, PAGE 366, A DISTANCE OF 1,180.40 FEET TO THE POINT OF BEGINNING AT THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL OF LAND; THENCE CONTINUING NORTH 73 DEGREES 56 MINUTES 00 SECONDS WEST, ON SAID NORTHERLY LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 615, PAGE 366, AND ON THE NORTHERLY LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 1292, PAGE 936, OF SAID PUBLIC RECORDS, 680.00 FEET; THENCE NORTH 16 DEGREES 04 MINUTES 00 SECONDS EAST 40.00 FEET TO A POINT ON A NON-TANGENT CURVE; THENCE ON SAID NON-TANGENT CURVE WITH RADIUS OF 50.00 FEET, THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 78.54 FEET (CHORD = NORTH 28 DEGREES 56 MINUTES 00 SECONDS WEST - 70.71 FEET); THENCE NORTH 16 DEGREES 04 MINUTES 00 SECONDS EAST, 26.00 FEET TO THE POINT OF A CURVE TO THE RIGHT; THENCE ON SAID CURVE TO THE RIGHT WITH RADIUS OF 50.00 FEET THROUGH A CENTRAL ANGLE OF 60 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 52.36 FEET (CHORD = NORTH 46 DEGREES 04 MINUTES 00 SECONDS EAST - 50.00 FEET); TO A POINT OF REVERSE CURVE; THENCE ON A CURVE TO THE LEFT WITH A RADIUS OF 50.00 FEET THROUGH A CENTRAL ANGLE OF 60.00 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 52.36 FEET (CHORD = NORTH 46 DEGREES 04 MINUTES 00 SECONDS EAST - 50.00 FEET); THENCE NORTH 16 DEGREES 04 MINUTES 00 SECONDS EAST, ON THE EAST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 796, PAGE 1002, WEST PART, 814.80 FEET TO A POINT OF A CURVE TO THE LEFT; THENCE ON A CURVE TO THE LEFT WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 31.42 FEET (CHORD = NORTH 28 DEGREES 55 MINUTES 39 SECONDS WEST - 28.29 FEET) TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID AGRICULTURAL CENTER DRIVE; THENCE SOUTH 73 DEGREES 56 MINUTES 00 SECONDS EAST, ON SAID SOUTHERLY RIGHT OF WAY LINE OF SAID AGRICULTURAL CENTER DRIVE, 110.00 FEET TO A POINT ON A NON-TANGENT CURVE; THENCE ON SAID NON-TANGENT CURVE WITH RADIUS OF 20.00 FEET, THROUGH A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS AN ARC DISTANCE OF 31.42 FEET (CHORD = SOUTH 61 DEGREES 04 MINUTES 21 SECONDS WEST - 28.29 FEET); THENCE SOUTH 16 DEGREES 04 MINUTES 00 SECONDS WEST, ON THE WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 796, PAGE 1002, EAST PART, 488.47 FEET; THENCE SOUTH 73 DEGREES 56 MINUTES 00 SECONDS EAST, ON SOUTH LINE OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 796, PAGE 1002, EAST PART, 300.00 FEET; THENCE SOUTH 16 DEGREES 04 MINUTES 00 SECONDS WEST, ON THE WEST LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 773, PAGE 758, OF SAID PUBLIC RECORDS, 164.53 FEET; THENCE NORTH 73 DEGREES 56 MINUTES 00 SECONDS WEST, 300.00 FEET; THENCE SOUTH 16 DEGREES 04 MINUTES 00 SECONDS WEST, 30.00 FEET; THENCE SOUTH 73 DEGREES 56 MINUTES 00 SECONDS EAST, ON THE SOUTH LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 773, PAGE 758, OF SAID PUBLIC RECORDS, 610.00 FEET; THENCE SOUTH 16 DEGREES 04 MINUTES 00 SECONDS WEST, ON THE WESTERLY LINE OF THAT LAND DESCRIBED IN OFFICIAL RECORDS BOOK 805, PAGE 1591, OF SAID PUBLIC RECORDS, 334.40 FEET TO THE POINT OF BEGINNING.



**END DOCUMENTS  
TO BE RECORDED**

**ATTACHMENT 2**  
**APPLICATION AND SUPPORTING**  
**DOCUMENTS**



# St. Johns County Development Review

Application for:

Date  Property Tax ID No

Project Name

Property Owner(s)  Phone Number

Address  Fax Number

City  State  Zip Code  e-mail

Are there any owners not listed?  No  Yes If yes please provide information on separate sheet.

Applicant/Representative  Phone Number

Address  Fax Number

City  State  Zip Code  e-mail

Property Location

Major Access  Size of Property  Cleared Acres (if applicable)

Zoning Class  No. of lots (if applicable)  Overlay District (if applicable)

Water & Sewer Provider  Future Land Use Designation

Present Use of Property  Proposed Bldg. S.F.

### Project Description (use separate sheet if necessary)

Phase 2 of the Agricultural Center Warehouse development will consist of two (2) new Office/Warehouse buildings totaling approximately 36,400 square feet with associated access, utilities and stormwater management.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD:

I understand that reasonable inspections of the subject property may be made as part of the application review process. I understand that any material misrepresentations or errors contained in this application or supporting documents may void an approved application, at the reasonable determination of the County considering the Land Development Code, Comprehensive Plan, and other applicable regulations.

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:  
Signature of owner or person authorized to represent this application:

Alex R. Acree  
Signed By

Printed or typed name(s)

## Operation and Maintenance Entity

Project Name

Development Permit Number

Name of Entity

Corporate Title

Name

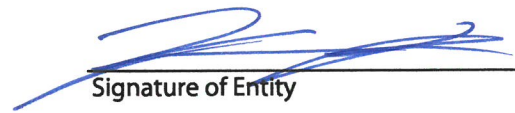
Address

City  State  Zip Code

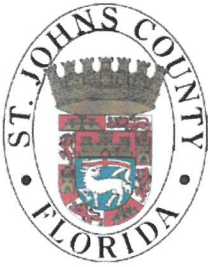
email

Phone Number

I, my successors and/or assigns, do hereby agree to operate and maintain in perpetuity the stormwater management facility located at the above referenced project.

  
Signature of Entity

Date 3/3/23



Owner's Authorization Form

Matthews Design Group, Inc.

is hereby authorized TO ACT ON BEHALF OF

Southern States Pavement Markings, Inc.

the owners(s) of those lands described within

the attached application, and as described in the attached deed or other such proof of ownership as may be required, in applying to St. Johns County, Florida, for an application related to a development Permit or other action pursuant to a: application for:

Other
Commercial Construction Plans

By signing, I affirm that all legal owners(s), as listed on the Recorded Warranty Deed on file with the St. Johns County Clerk of Courts or otherwise stated ( ), have been notified of the application. (Identify what document)

I further understand incomplete or false information provided on this form may lead to revocation of permits, termination of development activity.

Signature of Owner

[Handwritten signature of Kevin Carter]

Print Name

Kevin Carter

Signature of Owner

Print Name

Telephone Number

904-814-8410

State of Florida County of St. Johns

Signed and sworn before me on this 3 day of MARCH 20 23

By KEVIN CARTER

Identification verified: PERSONALLY KNOWN

Oath sworn: Yes [checked] No

Notary Signature

[Handwritten signature of Cathlene A. Clark]

My Commission expires:

4-13-2026



CATHELENE A. CLARK
Notary Public
State of Florida
Comm# HH252650
Expires 4/13/2026

# CONSTRUCTION PLANS FOR AGRICULTURAL CENTER WAREHOUSE PHASE 2 ST. JOHNS COUNTY



Digitally signed  
by Alexander R  
Acree  
Date:  
2024.01.02  
09:02:07 -05'00'

**GENERAL NOTES:**

A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS CONTRACTORS TO THE OWNER:

MRE OF JAX ENTERPRISES, LLC  
6005 POWERS AVENUE, SUITE 104  
JACKSONVILLE, FL 32217  
CONTACT: ANTHONY PAUL O'NEIL P.S.M.  
PHONE: (904) 379-6908

MATTHEWS DESIGN GROUP, LLC AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.

B. ADDITIONAL PROJECT INFORMATION HAS BEEN PROVIDED BY THE FOLLOWING SUB-CONSULTANT AS CONTRACTOR TO THE OWNER:

MESKEL & ASSOCIATES ENGINEERING  
TYPE: GEOTECHNICAL  
8936 WESTERN WAY, SUITE 12  
JACKSONVILLE, FL 32256  
PHONE: (904) 519-6690

C. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER OF ANY DISCREPANCIES BETWEEN THE SURVEY AND FIELD VERIFICATION OF INFORMATION ABOVE OR BELOW GROUND THAT MAY BE CRITICAL TO THE DESIGN OF THIS PROJECT. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION OF THIS PROJECT.

**D. WARRANTY / DISCLAIMER:**

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER IS INVOLVED WITH THE PHYSICAL CONSTRUCTION ON AN ONGOING BASIS AT THE SITE.

MATTHEWS DESIGN GROUP (MDG) IS THE PROJECTS ENGINEER OF RECORD (EOR). MDG IS NOT A GENERAL CONTRACTOR, UTILITY CONTRACTOR, SITE CONTRACTOR, OR ANY OTHER TYPE OF CONTRACTOR.

**E. SAFETY NOTICE TO CONTRACTOR:**

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.

**F. CONSTRUCTION TESTING:**

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, TESTING, LABORATORY ANALYSES, REPORTS, COSTS, ETC., CONCERNING SOILS AND PAVEMENT RELATED DESIGN REQUIREMENTS AND SPECIFICATIONS AS SET FORTH IN THESE PLANS.

**G. AS-BUILT SURVEY NOTE:**

UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS REQUIRED TO PROVIDE OWNER / ENGINEER WITH A SIGNED AND SEALED AS-BUILT SURVEY AND ANY OTHER RELATED CONSTRUCTION DOCUMENTS, IN ACCORDANCE WITH APPLICABLE PERMITTING AGENCY REQUIREMENTS, AS THE BASIS FOR PROJECT CERTIFICATIONS AND CLOSE-OUT.

**H. RIGHT-OF-WAY:**

ANY AND ALL WORK CONDUCTED WITHIN THE ST. JOHNS COUNTY RIGHT-OF-WAYS MUST BE IN ACCORDANCE WITH THE APPLICABLE LAND DEVELOPMENT CODES.

**I. PRE-CONSTRUCTION MEETING:**

IT IS THE RESPONSIBILITY OF THE APPLICANT TO SCHEDULE A PRE-CONSTRUCTION / PRE PERMIT ISSUANCE MEETING WITH ST. JOHNS COUNTY STAFF AFTER PLANS HAVE BEEN RELEASED FOR CONSTRUCTION BY THE ST. JOHNS COUNTY AND PRIOR TO STARTING ANY SITE ACTIVITIES. THE PRE-CONSTRUCTION MEETING WILL BE HELD IN CONJUNCTION WITH THE ST. JOHNS COUNTY UTILITY DEPARTMENT MANDATORY PRE-CONSTRUCTION MEETING. HOWEVER, IF THE PROJECT FALLS OUTSIDE OF ST. JOHNS COUNTY JURISDICTION, PLEASE CALL ST. JOHNS COUNTY TO SCHEDULE MEETING.

J. ALL ELEVATIONS SHOWN HEREIN ARE REFERENCED TO NAVD88

**K. FIRE SERVICES**

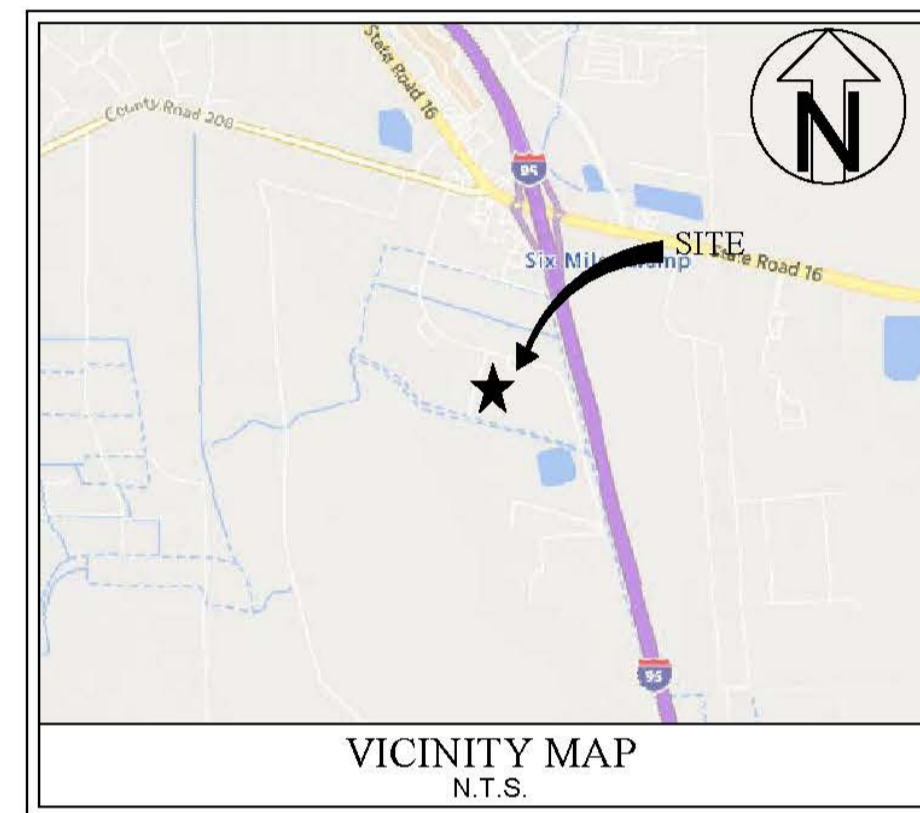
WHEN VERTICAL CONSTRUCTION BEGINS, FIRE DEPT. ACCESS IS REQUIRED

\*FIRE DEPT ACCESS ROADS SHALL BE PROVIDED AT THE START OF THE PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. (NFPA 1, CHP 16)

\*FIRE DEPT ACCESS ROAD SHALL BE UNOBSTRUCTED 20 FEET WIDE, STABILIZED SURFACE TO SUPPORT 80,000 LBS AND PROVIDE TURNAROUND FOR A 50 FOOT FIRE APPARATUS. (NFPA 1, CHP 18)



Know what's below.  
Call before you dig.



GENERAL LOCATION: SW CORNER OF I-95 AND STATE ROAD 16, ST. AUGUSTINE, FL

**OWNER:**

SOUTHERN STATES PAVEMENT MARKINGS, INC.  
1745 LAKESIDE AVE  
ST. AUGUSTINE, FL 32084  
PHONE: (904) 814-8410  
CONTACT: KEVIN CARTER

**PREPARED BY:**

**MATTHEWS DESIGN GROUP**  
P.O. BOX 3126, 7 WALDO STREET  
ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334 • FAX: 904.826.4547  
INFO@MDGINC.COM

**PERMITS / APPROVALS**

ST. JOHNS COUNTY  
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

**SUBMITTED**

05-02-23  
03-24-23

**RECEIVED**

05-18-23

**Sheet List Table**

Sheet Number	Sheet Title
01	COVER SHEET
02	GENERAL NOTES SHEET
03	UTILITY NOTES
04	SURVEY - TOPO
05	SURVEY - WATER
06	SURVEY - SEWER
07	EROSION CONTROL & DEMOLITION PLAN
08	SITE PLAN
09	GRADING AND DRAINAGE PLAN
10	UTILITY PLAN
11	CONSTRUCTION DETAILS
12	CONSTRUCTION DETAILS
13	SJCUD UTILITY DETAILS
14	SJCUD UTILITY DETAILS
15	SJCUD UTILITY DETAILS
16	SJCUD UTILITY DETAILS
17	SWPPP
L1	LANDSCAPE PLAN PHASE 1 AND 2
L2	LANDSCAPE PLAN PHASE 1 AND 2
L3	LANDSCAPE PLAN PHASE 1 AND 2
L4	LANDSCAPE SPECIFICATIONS AND DETAILS

**RESOURCE LIST**

ST. JOHNS COUNTY ENGINEERING	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT	ST. JOHNS COUNTY DEVELOPMENT SERVICES
2750 INDUSTRY CENTER ROAD ST. AUGUSTINE, FLORIDA 32084 (904) 209-0110	7775 BAYMEADOWS WAY, SUITE 102 JACKSONVILLE, FLORIDA 32256 (904) 730-6270	4040 LEWIS SPEEDWAY ST. AUGUSTINE, FLORIDA 32084 (904) 209-0660

**ST. JOHNS COUNTY UTILITY DEPARTMENT**

1205 STATE ROAD 16  
ST. AUGUSTINE, FLORIDA 32084  
(904) 209-2700

**FLOOD CERTIFICATION:**

THIS SITE IS SHOWN IN FLOOD ZONE "X" AS DESIGNATED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12109C0257H, FOR ST. JOHNS COUNTY, FLORIDA, EFFECTIVE DECEMBER 7, 2018.

NO.	DATE	DESCRIPTION
1	6-23-23	PER SJC COMMENTS

NO.	DATE	DESCRIPTION
1	03-24-2023	PER SJC COMMENTS

**MATTHEWS DESIGN GROUP**  
P.O. BOX 3126, 7 WALDO STREET  
ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334 • FAX: 904.826.4547  
INFO@MDGINC.COM

COVER SHEET  
AGRICULTURAL CENTER WAREHOUSE PHASE 2  
ST. JOHNS COUNTY  
PREPARED FOR  
SOUTHERN STATES PAVEMENT MARKINGS, INC.



### ST. JOHNS COUNTY UTILITY DEPARTMENT (SJCUD) GENERAL NOTES

#### GENERAL:

- WHERE THESE NOTES CONFLICT WITH THE SPECIFICATIONS IN PART III OF THE MANUAL, PART III GOVERNS.
- TWO (2) COPIES OF THE SHOP DRAWINGS FOR MATERIALS NOT IN THE APPROVED MATERIALS MANUAL (STAMPED APPROVED BY THE ENGINEER) SHALL BE SUBMITTED TO SJCUD FOR REVIEW PRIOR TO SCHEDULING THE MANDATORY PRE-CONSTRUCTION CONFERENCE. THE INITIAL SHOP DRAWING REVIEW BY SJCUD WILL BE COMPLETED WITHIN FIFTEEN (15) BUSINESS DAYS. SUBSEQUENT SHOP DRAWING REVIEWS WILL BE COMPLETED WITHIN TEN (10) BUSINESS DAYS.
- A PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH THE DEVELOPER, THE ENGINEER OF RECORD, THE UTILITY CONTRACTOR, AND THE SJCUD PRIOR TO THE START OF ANY CONSTRUCTION. A PRE-CONSTRUCTION CONFERENCE WITH SJCUD IS REQUIRED REGARDLESS OF OTHER AGENCIES REQUIREMENTS.
- ALL WATER, SEWER, AND/OR REUSE CONSTRUCTION SHALL BE PERFORMED BY A CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES. A COPY OF THE CONTRACTOR'S GENERAL LICENSE AND/OR UNDERGROUND UTILITY LICENSE SHALL BE PROVIDED AT THE PRE-CONSTRUCTION CONFERENCE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL LOCATIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR(S) SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UTILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES AND TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE AFFECTED UTILITY COMPANY, ENGINEER OF RECORD, COUNTY, AND SJCUD.
- THE WATER, SEWER, AND/OR REUSE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SJCUD APPROVED CONSTRUCTION DRAWINGS AND SPECIFICATIONS. IF THERE IS ANY DEVIATION FROM THE APPROVED CONSTRUCTION DRAWINGS OR SPECIFICATIONS, WITHOUT PRIOR AUTHORIZATION AND CONSENT FROM THE SJCUD, THE CONTRACTOR SHALL REMOVE THE DEVIATION AND RESTORE IT TO THE APPROVED CONSTRUCTION DRAWING CONFIGURATION AT NO EXPENSE TO THE SJCUD. ANY DEVIATIONS FROM THE APPROVED DOCUMENTS WILL DELAY THE COC SUBMITTAL PROCESS.
- THE CONTRACTOR SHALL FIELD VERIFY THE CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD AND SJCUD IMMEDIATELY.
- EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED PER AVAILABLE MEANS WITHOUT EXCAVATION.
- VERTICAL LOCATIONS OF ALL UTILITIES (EXCLUDING EXISTING STORM SEWERS) SHOWN ON PLAN AND PROFILE SHEETS HAVE BEEN REFERENCED TO A BENCH MARK SHOWN ON THE UTILITY PLANS. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGINEER IF LOCATION DIFFERS FROM THAT SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION.
- SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SJCUD PRIOR TO CONTINUING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. THE CONTRACTOR SHALL RESTORE/REPLACE, AT NO ADDITIONAL EXPENSE TO THE OWNER, ANY DAMAGE DONE BY CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS. ANY DAMAGE SHALL BE REPAIRED/REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND BUILDING PLACEMENT WITH ALL OTHER UTILITIES CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY UNSUITABLE MATERIAL FROM HIS OPERATION. FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- UNSUITABLE MATERIALS UNDER WATER, SEWER, AND/OR REUSE MAINS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL PROPERLY COMPACTED TO 95% OF MAXIMUM DENSITY. BACKFILL SHALL BE COMPACTED IN A MAXIMUM OF ONE-FOOT (1) LIFTS. DENSITY TESTS SHALL BE TAKEN AFTER COMPACTION OF EVERY LIFT.
- THE CONTRACTOR(S) SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, THE ENGINEER OF RECORD, AND THE PROPERTY OWNER 72 HOURS PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITY COMPANIES AND THE PERMITS OBTAINED FOR THE WORK.
- THE ENGINEER OF RECORD AND SJCUD SHALL BE GIVEN FIVE (5) BUSINESS DAYS NOTICE OF ALL REQUESTED MEETINGS AND/OR TESTING MEASURES RELATED TO THE PROJECT.
- ALL WORK, MATERIALS, AND EQUIPMENT SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELEVANT ST. JOHNS COUNTY STANDARDS AND REQUIREMENTS AS WELL AS STATE AND LOCAL REGULATIONS.
- ALL UNDERGROUND UTILITY EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE MANUAL OF WATER, WASTEWATER, AND REUSE DESIGN STANDARDS & SPECIFICATIONS, ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, AND THE APPROVED SITE PLANS.
- ALL UTILITY CROSSINGS SHALL COMPLY WITH FDEP REGULATIONS (CH. 62-555.314, FAC)
- ANY LANDSCAPING TREES SHALL BE PLACED A MINIMUM OF 7.5 FEET AWAY FROM THE EDGE OF PIPELINE TO THE TREE CENTERLINE.
- ALL ROCK AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA AND ST. JOHNS COUNTY UTILITIES STANDARDS AND/OR PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES FOR NEW AND RELOCATED PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE. CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED FOR NEW AND RELOCATED PIPES. THE BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE NEW AND RELOCATED PIPES AND TO A SUFFICIENT HEIGHT ABOVE SUCH PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE.

- FOR WATER, WASTEWATER, AND RECLAIMED MAINS SMALLER THAN 16 INCHES, THE MINIMUM AND MAXIMUM COVER SHALL BE 30 INCHES AND 36 INCHES, RESPECTIVELY, IN UNPAVED AREAS AND 36 INCHES AND 42 INCHES, RESPECTIVELY, IN PAVED AREAS, OR AS REQUIRED WITHIN FOOT OR RAILROAD RIGHTS-OF-WAY. FOR MAINS 12 INCHES OR GREATER, THE MINIMUM AND MAXIMUM COVER SHALL BE 42 INCHES AND 54 INCHES, RESPECTIVELY. EXCEPTIONS WILL BE MADE FOR CONFLICTS.
- WHERE FORCEMAINS, WATERMAINS, OR RECLAIMED WATERMAINS ARE LAID WITHOUT FITTINGS, THE MAXIMUM DEFLECTION SHALL BE 80% OF THAT RECOMMENDED BY THE MANUFACTURER.
- FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER. ALL FITTINGS SHALL BE RESTRAINED PER THE RESTRAINED JOINT TABLE IN THE APPROVED PLAN SET.
- ALL UNDERGROUND VALVES SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH TOP SET TO FINAL GRADE IN ACCORDANCE WITH SJCUD DETAILS AND SPECIFICATIONS. ALL VALVES SHALL HAVE LOCATE MARKERS.
- CONTRACTOR IS RESPONSIBLE FOR PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF SEVEN (7) BUSINESS DAYS NOTICE TO SJCUD PRIOR TO SCHEDULING THE FINAL INSPECTION.

#### NOTICE OF PROCEDURE:

- ALL COMMERCIAL BUILDING PERMITS AND METERS PROCESSED THROUGH SJCUD CUSTOMER SERVICE SHALL BE ACCOMPANIED BY A SET OF APPROVED CIVIL DESIGN PLANS.
- ALL CONNECTIONS TO THE WATER, SEWER, AND/OR REUSE SYSTEM, FLUSHING, AND PRESSURE TESTS TO BE PERFORMED BY THE UTILITY CONTRACTOR OR LICENSED MASTER PLUMBER MUST BE SCHEDULED AT LEAST FIVE (5) WORKING DAYS IN ADVANCE WITH THE SJCUD. A SJCUD INSPECTOR MUST BE PRESENT PRIOR TO THE CONNECTION BEING MADE OR TESTING.
- IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO SECURE APPLICABLE PERMITS PRIOR TO CONSTRUCTION.
- THE PROPERTY OWNER SHALL PURCHASE THE WATER METER THROUGH THE SJCUD ON PROJECTS THAT REQUIRE A WATER METER LARGER THAN ONE (1) INCH. THE OWNER'S CONTRACTOR SHALL INSTALL ALL METERS THREE (3) INCHES AND LARGER.
- WATER, SEWER, AND/OR REUSE UNIT CONNECTION FEES SHALL BE PAID IN FULL AT THE TIME OF BUILDING PERMIT APPLICATION.
- ALL ON-SITE PRIVATE WATER, SEWER, AND/OR REUSE CONSTRUCTION BETWEEN THE METER AND BUILDING MAY BE INSPECTED BY THE SJCUD TO ENSURE STANDARDS ARE MET.
- ALL REQUIREMENTS BY THE SJCUD (I.E. FINAL INSPECTION, CORRECTION OF PUNCH LIST ITEMS, "AS BUILTS", FDEP CERTIFICATION OF COMPLETION, ETC) MUST BE SATISFIED PRIOR OF ISSUANCE OF CERTIFICATES OF OCCUPANCY.

#### PRESSURE PIPE NOTES:

- POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 4" THROUGH 12" DIAMETER SHALL BE DR18, C900 PVC, WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. DR11, C906 HDPE OR DR11, C900 FUSIBLE PVC (FPVC), POTABLE AND RECLAIMED WATERMAINS 4" THROUGH 12" DIAMETER SHALL BE DIP CLASS 350 WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. FUSIBLE PVC SHALL NOT BE USED FOR HDD.
- POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 16" THROUGH 36" DIAMETER SHALL BE DR25, C905 PVC WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS OR DR11, C906 HDPE OR DR25, C905 FPVC. POTABLE AND RECLAIMED WATERMAINS 16" THROUGH 36" DIAMETER SHALL BE DIP CLASS 250 WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. FUSIBLE PVC SHALL NOT BE USED FOR HDD.
- POTABLE AND RECLAIMED WATERMAINS LARGER THAN 36" DIAMETER SHALL BE DIP CLASS 250.
- HDD UP TO 36" DIAMETER AND LESS THAN 300 FEET SHALL BE DR11, C906 HDPE. HDD UP TO 24" DIAMETER AND LONGER THAN 300 FEET SHALL BE DR9, C906 HDPE.
- 2" POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS SHALL BE DR9, HDPE (CTS).
- PIPE SHALL BE APPROPRIATELY COLOR CODED: BLUE-POTABLE WATER, GREEN-SEWER, AND PURPLE-RECLAIMED WATER.

#### POTABLE WATER SYSTEMS NOTES:

- ALL CURB STOPS ARE TO BE BALL-TYPE WITH LOCKING CAPACITY, 1" MINIMUM.
- A FULL UNCUPT LENGTH OF WATERMAIN PIPE (USUALLY 20 FEET) SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL WATER AND SEWER (INCLUDING STORM) LINES AT THE POINT OF CROSSINGS REGARDLESS OF THE VERTICAL SEPARATIONS.
- WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH THE APPROVAL OF THE ST. JOHNS COUNTY HEALTH DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED CONTAMINATION.
- NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE BY FDEP AND ACCEPTED FOR MAINTENANCE BY THE SJCUD.
- JUMPER CONNECTIONS WITH BACKFLOW PREVENTION DEVICE SHALL BE USED TO FILL OR FLUSH WATERMAINS
- ALL NEW AND RELOCATED WATERMAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND SJCUD STANDARDS.
- ALL NEW AND RELOCATED WATERMAIN PIPE AND FITTINGS WILL COMPLY WITH THE LATEST FDEP AND AWWA STANDARDS FOR LEAD CONTENT.

- ALL NEW AND RELOCATED WATERMAINS SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C605, LATEST EDITION.
- ALL NEW AND RELOCATED WATERMAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 62-555.340, F.A.C.
- ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE AND SJCUD STANDARDS.
- THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED ON THE AS BUILT DRAWINGS. THE SAMPLE POINT NUMBERING AND STATIONING SHALL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE CHAIN OF CUSTODY FORMS.

#### WASTEWATER SYSTEM NOTES:

- AN APPROVED INTERIOR LINER IS REQUIRED ON RECEIVING MANHOLES, PUMP STATION WETWELLS AND MANHOLES WITH THREE OR MORE INVERTS.
- SANITARY SEWER LINES SHALL BE GREEN, SDR26 PIPE, AND CLEARLY MARKED ON THE PIPE.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD AND SJCUD ALL VIDEO LOGS, WRITTEN REPORTS, AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL CONTACT SJCUD PRE-TREATMENT DEPARTMENT AT (904) 209-2663 FOR INSPECTION AFTER INSTALLATION OF GREASE TRAPS, INTERCEPTORS, AND/OR OIL-WATER SEPARATORS.

#### AS-BUILTS:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FROM JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
- "AS-BUILT" INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE UP TO SIX COPIES AND THE CAD FILE OF AS-BUILT DRAWINGS TO THE ENGINEER.
- A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE FINAL INSPECTION, TWO (2) SETS OF PRELIMINARY BLACKLINE "AS-BUILTS" AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
- THE RECORD OR "AS BUILT" DRAWINGS TO BE PREPARED BY THE CONTRACTOR AND SUBMITTED AT THE TIME OF THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE WILL CLEARLY DEPICT THE VERTICAL CLEARANCES BETWEEN WATER, SEWER (INCLUDING STORM) AND REUSE LINES AT ALL CROSSING AND PARALLEL RUNS WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET. IN ADDITION, THE CENTERING OF UNCUPT LENGTHS OF PIPE (USUALLY 20 FEET) AT POINTS OF CROSSINGS WILL BE DOCUMENTED ON THE DRAWINGS AND ALL MITIGATING CONSTRUCTION MEASURES CLEARLY DEPICTED IN CASES WHERE A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE BETWEEN THE WATER AND SEWER (INCLUDING STORM) LINES IS NOT POSSIBLE.
- AFTER SJCUD HAS APPROVED PRELIMINARY "AS BUILT", THREE (3) SETS OF BLACKLINE AS-BUILTS (SIGNED AND SEALED) AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO SJCUD THROUGH ST. JOHNS COUNTY DEVELOPMENT SERVICES.

#### STANDARD WATER/SEWER/RECLAIMED WATER SEPARATION STATEMENT:

THE CONTRACTOR SHALL INSTALL ALL MAINS IN ACCORDANCE WITH THE REQUIREMENTS OF RULE 62-555.314, FAC, BELOW. THE CONTRACTOR SHALL NOTIFY SJCUD IN ANY INSTANCE WHERE THE BELOW REQUIREMENTS CANNOT BE MET PRIOR TO INSTALLATION OF PIPE:  
 "62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS:  
 FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATERMAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.  
 (1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS:  
 (A) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-610, F.A.C.  
 (B) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

(C) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATERMAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATERMAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.

(D) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, AND RECLAIMED WATER PIPELINES.

(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.  
 (B) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATERMAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATERMAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-610, F.A.C.

(3.) SEPARATION BETWEEN WATERMAINS AND SANITARY OR STORM SEWER MANHOLES.

(A) NO WATERMAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SEWER OR STORMWATER MANHOLE.

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(5) EXCEPTIONS. WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION AND PROVIDE ALTERNATIVE CONSTRUCTION FEATURES THAT AFFORD A SIMILAR LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION. ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:

(A) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATERMAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:

1. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE;

2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE; OR

3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE.

(B) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:

1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND

2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER."

#### HYDROSTATIC TESTING NOTES:

- AFTER ALL PRESSURE PIPES ARE INSTALLED, THE JOINTS COMPLETED, AND THE TRENCH BACKFILLED, THE NEWLY LAID PIPE AND APPURTENANCES SHALL BE SUBJECTED TO A HYDROSTATIC TEST FOR A PERIOD OF AT LEAST TWO (2) HOURS. THE ENGINEER AND THE SJCUD MUST BE NOTIFIED AT LEAST 72 HOURS BEFORE A TEST IS TO BE PERFORMED. TEST SHALL BE AS SET FORTH IN AWWA STANDARD C605. ANY LEAKS DETECTED SHALL BE CORRECTED AND THE SECTION OF PIPELINE RETESTED. THE TWO HOUR TEST PERIOD SHALL BEGIN WHEN ALL JOINTS HAVE BEEN DETERMINED TO BE WATER TIGHT. LEAKAGE SHALL BE LIMITED TO THAT ALLOWANCE SET FORTH IN SECTION 4 OF AWWA STANDARD C600 LATEST EDITION. HYDROSTATIC AND LEAKAGE TEST AND BLOW-DOWN (ZEROING OF GAUGE) MUST OCCUR BEFORE SAMPLING FOR BACTERIOLOGICAL TEST. THE MAXIMUM ALLOWABLE PRESSURE LOSS IS 5 PSI.

NO.	BY	DATE	SYMBOL	REVISIONS
1	SJCUD	2020		REVISION 1

DESIGNER:	DESIGN ENGINEER
DRAWN BY:	
DATE:	
CHECKED BY:	FLORIDA REGISTRATION NO.
DATE:	

**ST. JOHNS COUNTY  
UTILITY DEPARTMENT**

1205 STATE ROAD 16  
ST. AUGUSTINE, FLORIDA 32084-8646  
Phone (904) 209-2100 • Fax (904) 209-2702

NO. SHEETS	SHEET NO.
	GN-1
	DRAWING NO.
	GN-01.dwg

### GENERAL NOTES

SJCUD STANDARD DRAWING FOR REFERENCE 2021-06-01

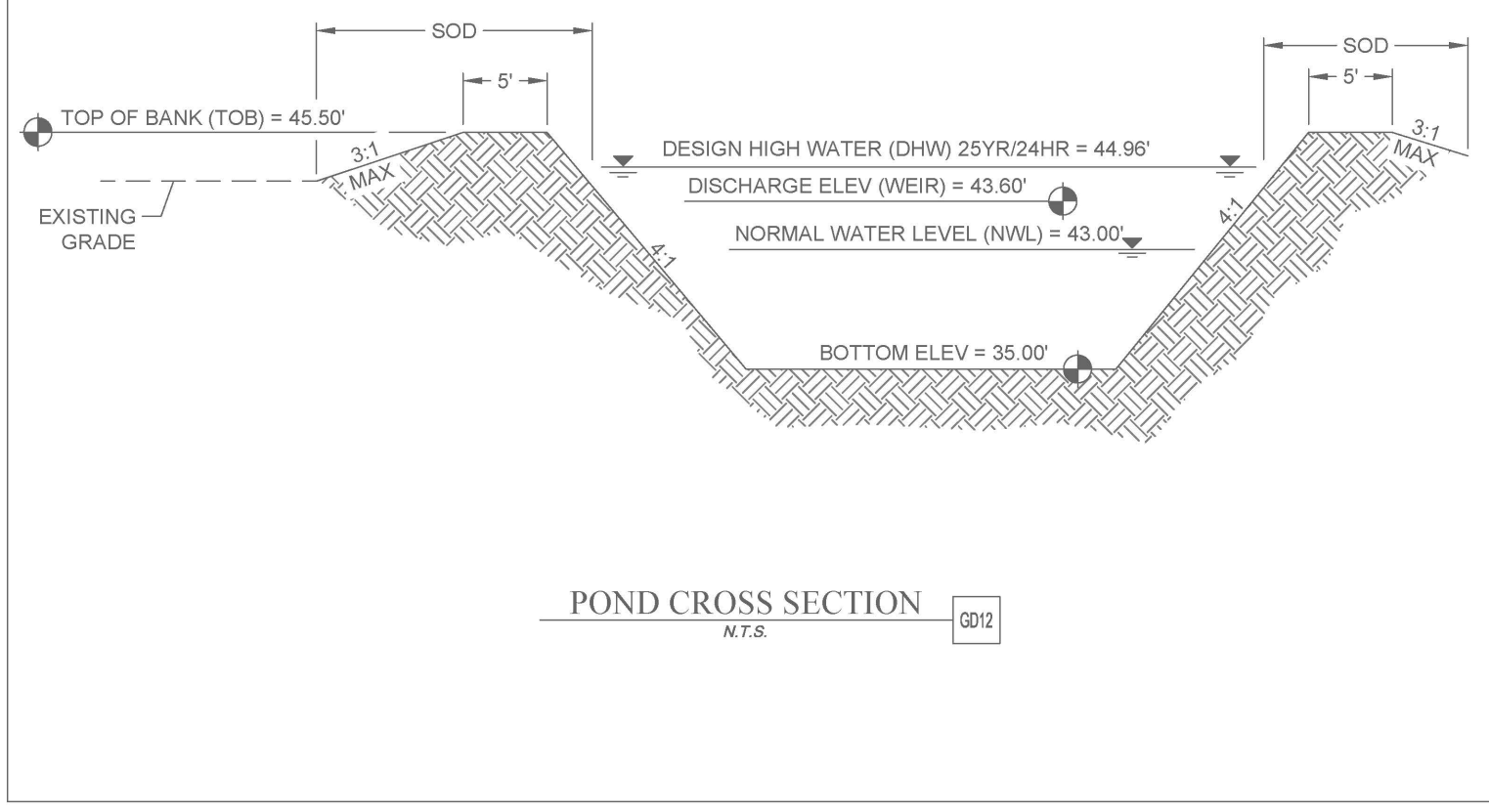
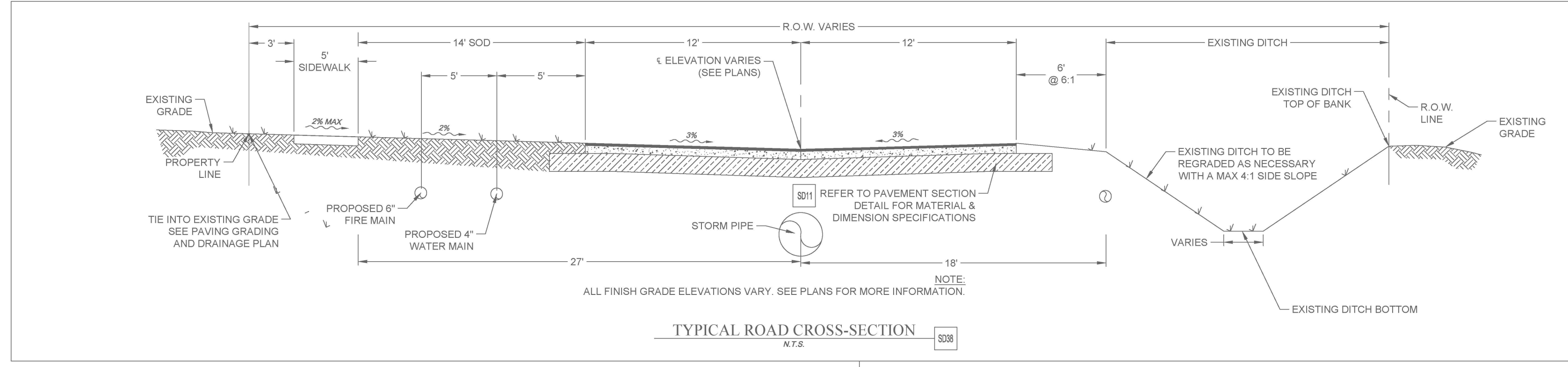
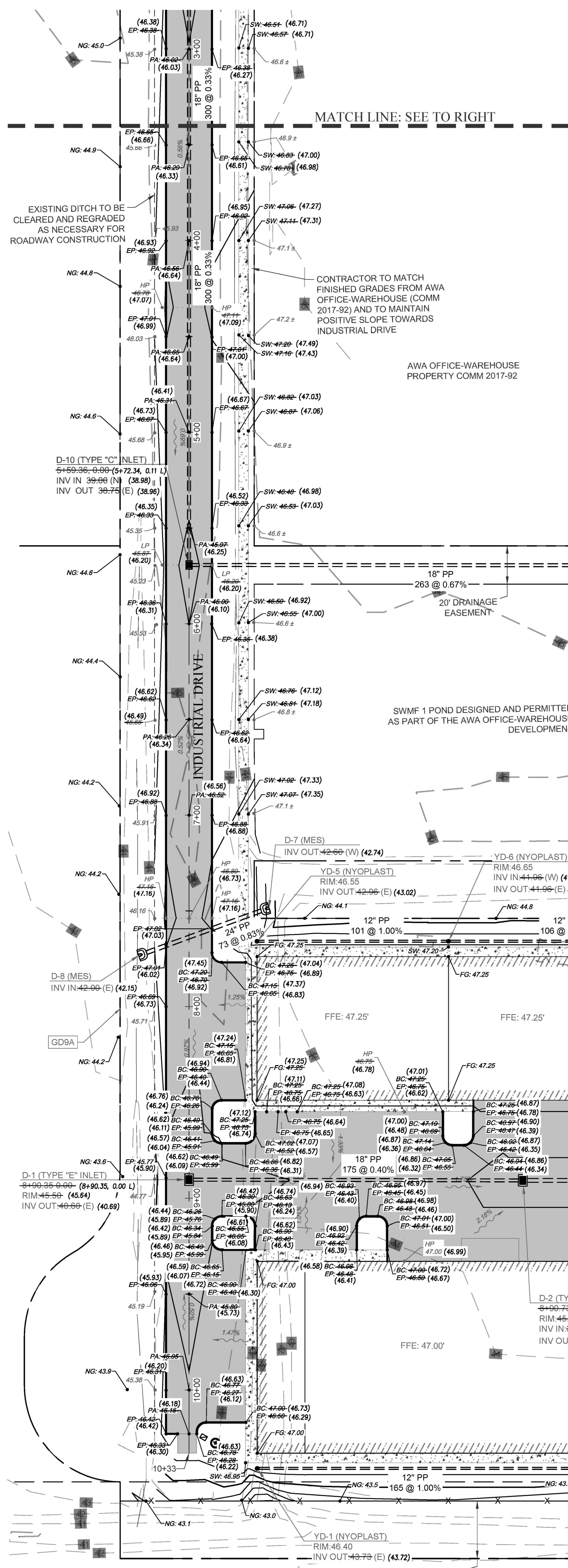
PROJECT: AGRICULTURAL CENTER WAREHOUSE PHASE 2 CONSTRUCTION DOCUMENTS (SJCUD, 02/12/2020) 350-04 LEAD: MARK MATTHEWS DESIGN GROUP, INC. SHEETS: 02-0001 TO 02-0020

**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MDGINC.COM

**UTILITY NOTES**  
 AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 ST. JOHNS COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.

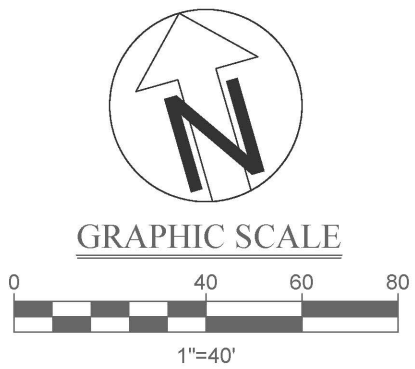
NO.	DATE	DESCRIPTION	REVISIONS
1	6-23-23	PER SJC COMMENTS	





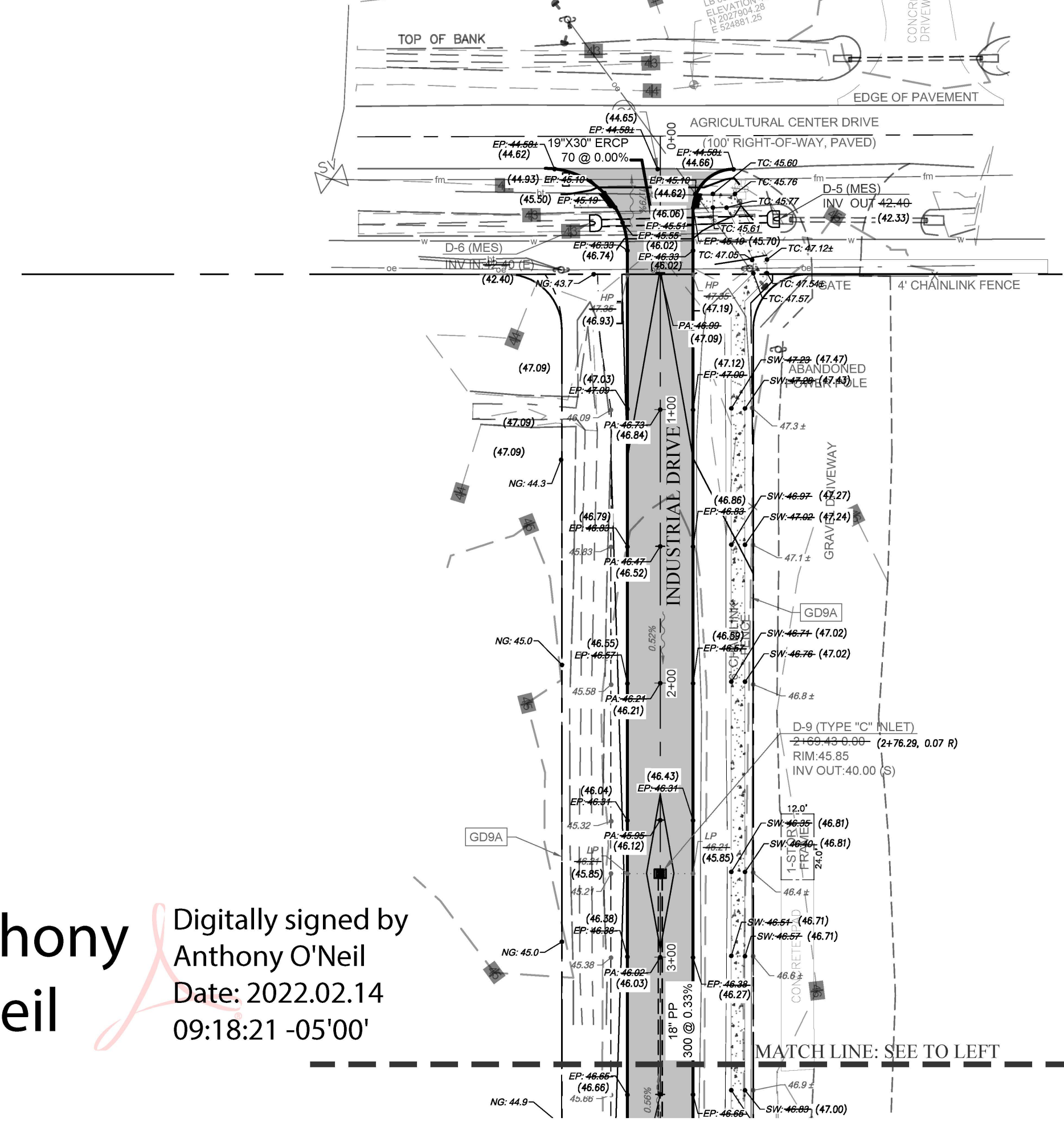
- GRADING DETAILS**
- GD28 WATTLE INLET PROTECTION
  - GD3 MITERED END SECTION
  - GD9A TYPE III SILT FENCE
  - GD12 TYPICAL POND CROSS SECTION
  - GD19 TYPE "E" INLET
  - GD45 NYOPLAST YARD INLET - (SEE CONSTRUCTION DETAILS SHEET #16)
  - SD38 TYPICAL ROAD CROSS SECTION
- GRADING NOTES**
- G1 MATCH EXISTING GRADE

- LEGEND**
- EXISTING**
- PROPERTY / RIGHT OF WAY LINE
  - WETLAND LINE
  - EASEMENT LINE
  - ROADWAY CENTERLINE
  - CURB & GUTTER
- PROPOSED**
- PROPERTY / RIGHT OF WAY LINE
  - DRAINAGE EASEMENT LINE
  - UTILITY EASEMENT LINE
  - ROADWAY CENTERLINE
  - BUILDING SETBACK LINE
  - CURB & GUTTER
  - CONSERVATION AREA



**SWMF 1**  
 TOB: 46.50' (0.82 Ac)  
 100yr DHW: 46.44'  
 25yr DHW: 45.84'  
 NWL: 43.00' (0.55 Ac)  
 BOT: 35.00' (0.16 Ac)

**SWMF 2**  
 TOB: 45.50' (0.71 Ac)  
 100yr DHW: 45.26'  
 25yr DHW: 44.91'  
 NWL: 43.00' (0.56 Ac)  
 BOT: 35.00' (0.18 Ac)



Digitally signed by Anthony O'Neil  
 Date: 2022.02.14 09:18:21 -05'00'

**AS BUILT**

INFORMATION PROVIDED BY:

DATE: 12/22/2021  
 NAME: TOMLINSON LAND CLEARING  
 ADDRESS: 1890 TOMLINSON LANE  
 JACKSONVILLE, FL 32220  
 PHONE#:

I CERTIFY THAT THE MATERIALS AND QUANTITIES USED IN THE CONSTRUCTION OF:

- PAVEMENT
- CURB & GUTTER
- STORMWATER & DRAINAGE SYSTEM
- UNDERDRAIN CONNECTIONS
- RETENTION BASIN
- WATER MAIN
- FORCE MAIN
- SANITARY GRAVITY SYSTEM
- LIFT STATION
- CHILLED WATER
- RECLAIMED WATER

ARE IN ACCORDANCE WITH THE APPROVED PLANS, STANDARDS AND COUNTY SPECIFICATIONS, UNLESS OTHERWISE APPROVED BY THE REGULATORY AGENCY.

**AS BUILT**

INFORMATION PROVIDED BY:

NAME: ANTHONY PAUL O'NEIL  
 ADDRESS: 6005 POWERS AVE SUITE 104  
 JACKSONVILLE, FL 32217  
 PHONE#: (904) 379-6508

I HEREBY CERTIFY THAT THE:

- PAVEMENT
- CURB & GUTTER
- STORMWATER & DRAINAGE SYSTEM
- UNDERDRAIN CONNECTIONS
- RETENTION BASIN
- WATER MAIN
- SANITARY GRAVITY SYSTEM
- FORCE MAIN
- LIFT STATION
- CHILLED WATER
- RECLAIMED WATER

AS PER THE UNDERGROUND AND SURVEILLANCE LOCATIONS AS SHOWN ON THESE "AS BUILT" DRAWINGS AND MEET THE MINIMAL TECHNICAL STANDARDS SET FORTH BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN THE STATE OF FLORIDA AS PER CHAPTER 55-170.01 AND

ELECTRONIC DRAWING FILE NAME: AG CENTER P&D AS-BUILT  
 DATE OF FIELD SURVEY: OCTOBER, 2021 FILE DATE: 12/22/2021

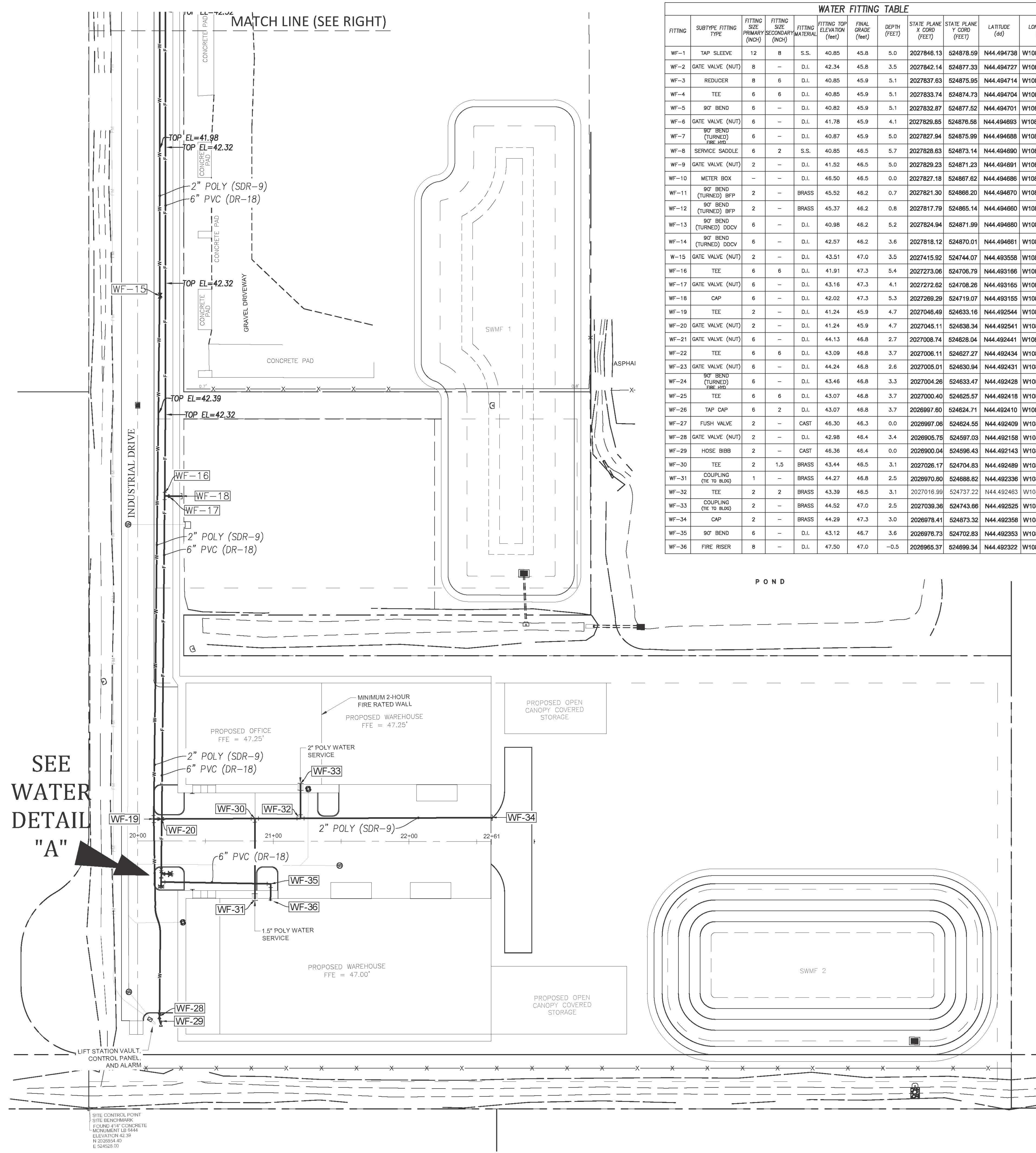
SIGNATURE: Anthony Paul O'Neil  
 NAME: ANTHONY PAUL O'NEIL  
 FLORIDA REG. LAND SURVEYOR'S NO.: PSM 5684  
 STATE OF FLORIDA

**MRE of JAX ENTERPRISES, LLC.**  
 6005 POWERS AVENUE, SUITE 104  
 JACKSONVILLE, FLORIDA 32217  
 LB 8276

**AS-BUILT**  
 OF PAVING AND DRAINAGE IMPROVEMENTS  
 ELEVATIONS AT LOCATIONS AS INDICATED

**AGRICULTURAL CENTER WAREHOUSE**  
 ST. JOHNS COUNTY, FLORIDA

REV 2: 12/21/2021  
 SHEET NO. 4



WATER FITTING TABLE											
FITTING	SUBTYPE FITTING TYPE	FITTING SIZE PRIMARY (NCH)	FITTING SIZE SECONDARY (NCH)	FITTING MATERIAL	FITTING TOP ELEVATION (feet)	FINAL GRADE (feet)	DEPTH (FEET)	STATE PLANE X COORD (FEET)	STATE PLANE Y COORD (FEET)	LATITUDE (dd)	LONGITUDE (dd)
WF-1	TAP SLEEVE	12	8	S.S.	40.85	45.8	5.0	2027846.13	524878.59	N44.494738	W108.028843
WF-2	GATE VALVE (NUT)	8	-	D.I.	42.34	45.8	3.5	2027842.14	524877.33	N44.494727	W108.028845
WF-3	REDUCER	8	6	D.I.	40.85	45.9	5.1	2027837.63	524875.95	N44.494714	W108.028846
WF-4	TEE	6	6	D.I.	40.85	45.9	5.1	2027833.74	524874.73	N44.494704	W108.028848
WF-5	90° BEND	6	-	D.I.	40.82	45.9	5.1	2027832.87	524877.52	N44.494701	W108.028844
WF-6	GATE VALVE (NUT)	6	-	D.I.	41.78	45.9	4.1	2027829.85	524876.58	N44.494693	W108.028846
WF-7	90° BEND (TURNED) TEE JOG	6	-	D.I.	40.87	45.9	5.0	2027827.94	524875.99	N44.494688	W108.028846
WF-8	SERVICE SADDLE	6	2	S.S.	40.85	46.5	5.7	2027828.63	524873.14	N44.494690	W108.028850
WF-9	GATE VALVE (NUT)	2	-	D.I.	41.52	46.5	5.0	2027829.23	524871.23	N44.494691	W108.028852
WF-10	METER BOX	-	-	D.I.	46.50	46.5	0.0	2027827.18	524867.62	N44.494686	W108.028856
WF-11	90° BEND (TURNED) BFP	2	-	BRASS	45.52	46.2	0.7	2027821.30	524866.20	N44.494670	W108.028858
WF-12	90° BEND (TURNED) BFP	2	-	BRASS	45.37	46.2	0.8	2027817.79	524865.14	N44.494660	W108.028859
WF-13	90° BEND (TURNED) DDCV	6	-	D.I.	40.98	46.2	5.2	2027824.94	524871.99	N44.494680	W108.028851
WF-14	90° BEND (TURNED) BFP	6	-	D.I.	42.57	46.2	3.6	2027818.12	524870.01	N44.494681	W108.028863
WF-15	GATE VALVE (NUT)	2	-	D.I.	43.51	47.0	3.5	2027415.92	524744.07	N44.493558	W108.029003
WF-16	TEE	6	6	D.I.	41.91	47.3	5.4	2027273.06	524706.79	N44.493166	W108.029047
WF-17	GATE VALVE (NUT)	6	-	D.I.	43.16	47.3	4.1	2027272.62	524708.26	N44.493165	W108.029046
WF-18	CAP	6	-	D.I.	42.02	47.3	5.3	2027289.29	524719.07	N44.493155	W108.029033
WF-19	TEE	2	-	D.I.	41.24	45.9	4.7	2027046.49	524633.16	N44.492544	W108.029135
WF-20	GATE VALVE (NUT)	2	-	D.I.	41.24	45.9	4.7	2027045.11	524638.34	N44.492541	W108.029129
WF-21	GATE VALVE (NUT)	6	-	D.I.	44.13	46.8	2.7	2027008.74	524628.04	N44.492441	W108.029141
WF-22	TEE	6	6	D.I.	43.09	46.8	3.7	2027006.11	524627.27	N44.492434	W108.029142
WF-23	GATE VALVE (NUT)	6	-	D.I.	44.24	46.8	2.8	2027005.01	524630.94	N44.492431	W108.029137
WF-24	90° BEND (TURNED) TEE JOG	6	-	D.I.	43.46	46.8	3.3	2027004.26	524633.47	N44.492428	W108.029134
WF-25	TEE	6	6	D.I.	43.07	46.8	3.7	2027000.40	524625.57	N44.492418	W108.029144
WF-26	TAP CAP	6	2	D.I.	43.07	46.8	3.7	2026997.60	524624.71	N44.492410	W108.029145
WF-27	FUSH VALVE	2	-	CAST	46.30	46.3	0.0	2026997.08	524624.55	N44.492409	W108.029145
WF-28	GATE VALVE (NUT)	2	-	D.I.	42.98	46.4	3.4	2026905.75	524597.03	N44.492158	W108.029178
WF-29	HOSE BIBB	2	-	CAST	46.36	46.4	0.0	2026900.04	524596.43	N44.492143	W108.029178
WF-30	TEE	2	1.5	BRASS	43.44	46.5	3.1	2027026.17	524704.83	N44.492489	W108.029050
WF-31	COUPLING (TIE TO BLDG)	1	-	BRASS	44.27	46.8	2.5	2026970.80	524688.82	N44.492336	W108.029069
WF-32	TEE	2	2	BRASS	43.39	46.5	3.1	2027016.99	524737.22	N44.492463	W108.029011
WF-33	COUPLING (TIE TO BLDG)	2	-	BRASS	44.52	47.0	2.5	2027039.36	524743.66	N44.492525	W108.029004
WF-34	CAP	2	-	BRASS	44.29	47.3	3.0	2026978.41	524873.32	N44.492358	W108.028849
WF-35	90° BEND	6	-	D.I.	43.12	46.7	3.6	2026978.73	524702.83	N44.492353	W108.029052
WF-36	FIRE RISER	8	-	D.I.	47.50	47.0	-0.5	2026965.37	524699.34	N44.492322	W108.029056

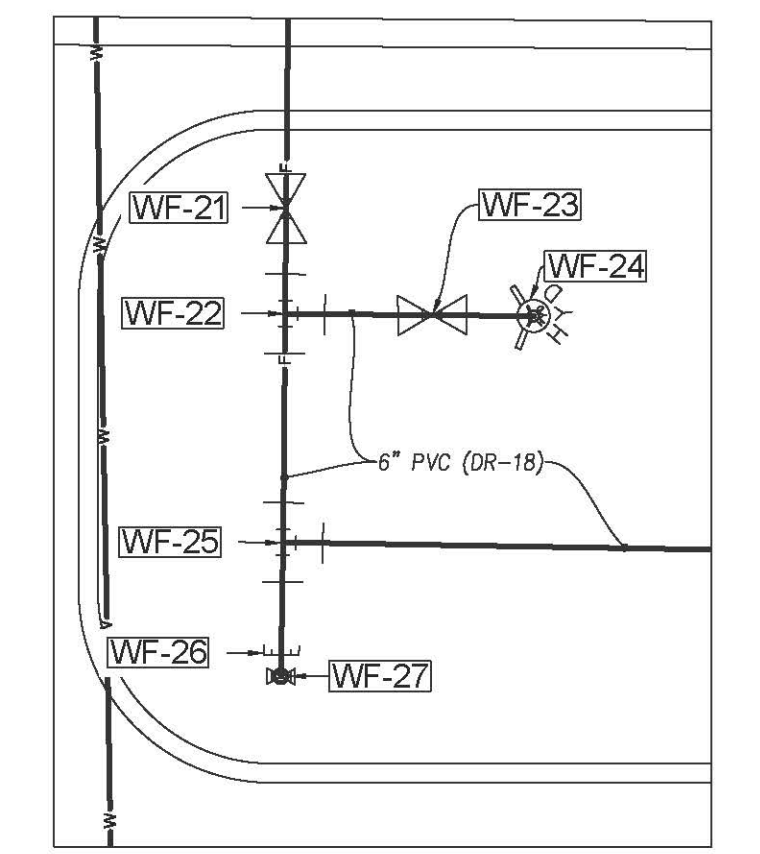
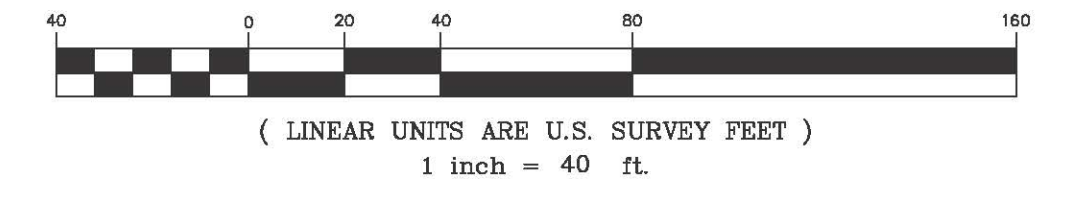
AS BUILT	AS BUILT																		
INFORMATION PROVIDED BY: DATE: 11/15/2021	INFORMATION PROVIDED BY: NAME: MRE OF JAX																		
NAME: _____	ADDRESS: 6005 POWERS AVE, SUITE 104																		
ADDRESS: _____	JACKSONVILLE, FL 32217																		
PHONE#: _____	PHONE: (904) 379-8808																		
I HEREBY CERTIFY THAT THE INFORMATION PROVIDED IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.																			
I CERTIFY THAT THE MATERIALS AND QUANTITIES USED IN THE CONSTRUCTION OF: <table border="0"> <tr><td>PAVEMENT</td><td>X</td><td>WATER MAIN</td></tr> <tr><td>CURB &amp; GUTTER</td><td></td><td>SANITARY GRAVITY SYSTEM</td></tr> <tr><td>STORMWATER &amp; DRAINAGE SYSTEM</td><td>X</td><td>FORCE MAIN</td></tr> <tr><td>FORCE MAIN</td><td></td><td>LIFT STATION</td></tr> <tr><td>UNDERDRAIN CONNECTIONS</td><td></td><td>CHILDLED WATER</td></tr> <tr><td>RETENTION BASIN</td><td></td><td>RECLAIMED WATER</td></tr> </table>		PAVEMENT	X	WATER MAIN	CURB & GUTTER		SANITARY GRAVITY SYSTEM	STORMWATER & DRAINAGE SYSTEM	X	FORCE MAIN	FORCE MAIN		LIFT STATION	UNDERDRAIN CONNECTIONS		CHILDLED WATER	RETENTION BASIN		RECLAIMED WATER
PAVEMENT	X	WATER MAIN																	
CURB & GUTTER		SANITARY GRAVITY SYSTEM																	
STORMWATER & DRAINAGE SYSTEM	X	FORCE MAIN																	
FORCE MAIN		LIFT STATION																	
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RETENTION BASIN		RECLAIMED WATER																	
ARE IN ACCORDANCE WITH THE APPROVED PLANS, STANDARDS AND COUNTY SPECIFICATIONS, UNLESS OTHERWISE APPROVED BY THE REGULATORY AGENCY.																			
ELECTRONIC DRAWING FILE NAME: AG CENTER UTILITY AS-BUILT																			
DATE OF FIELD SURVEY: OCTOBER, 2021 FILE DATE: 11/15/2021																			
SIGNATURE: <i>Anthony Paul O'Neil</i>																			
NAME: ANTHONY PAUL O'NEIL																			
FLORIDA REG. LAND SURVEYOR'S NO.: PSM 5584																			
THIS REPORT AND DIGITAL FILE ARE NOT FULL AND COMPLETE WITHOUT THE OTHER AND ARE NOT VALID WITHOUT THE SIGNATURE AND SEAL OF THE FLORIDA LICENSED SURVEYOR																			

AS-BUILT NOTES:

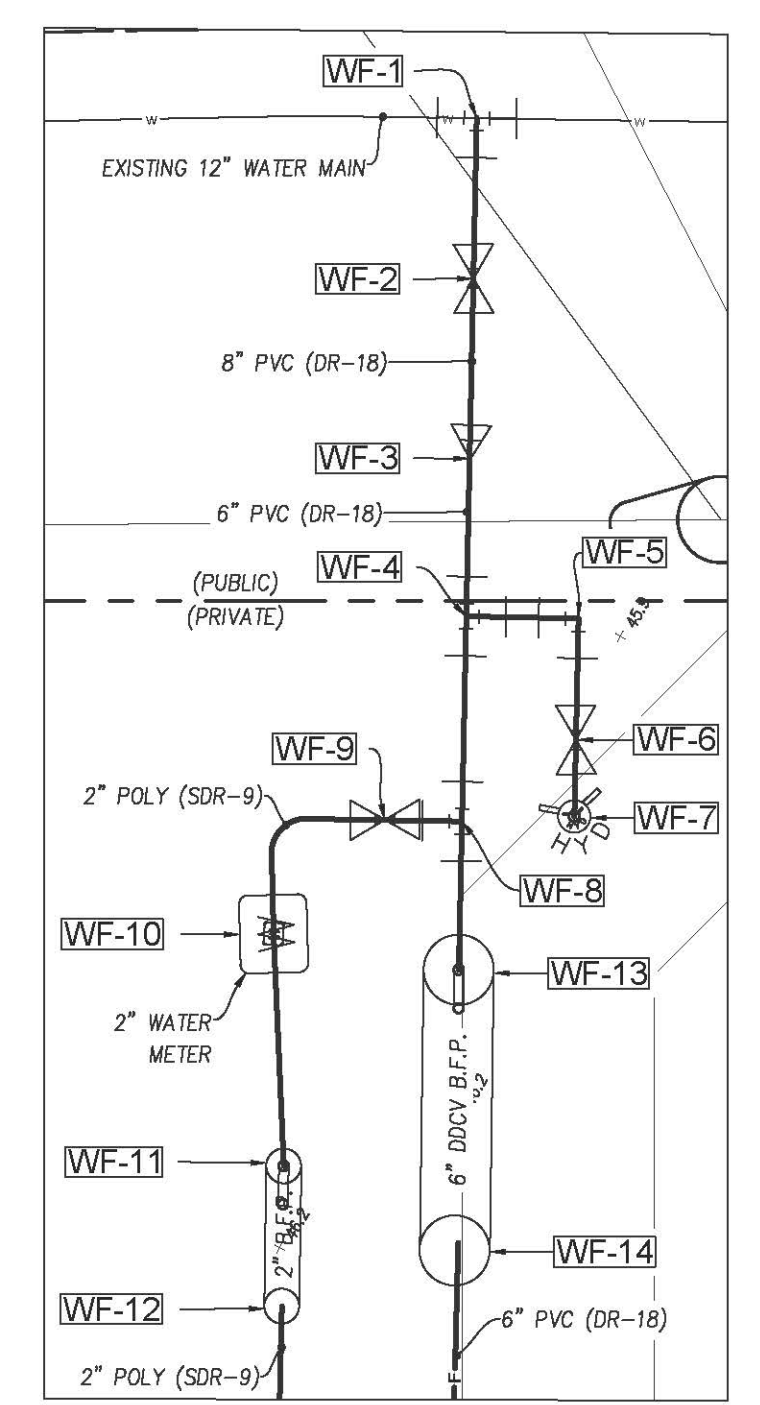
- BENCHMARKS ARE AS SHOWN HEREON.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- STATE PLANE COORDINATES SHOWN THUS:  
N #####.###, E #####.###  
ARE FLORIDA EAST ZONE (US FOOT) NAD\_83/2011.

Digitally signed by Anthony O'Neil  
 Date: 2022.02.14 09:35:45 -05'00'

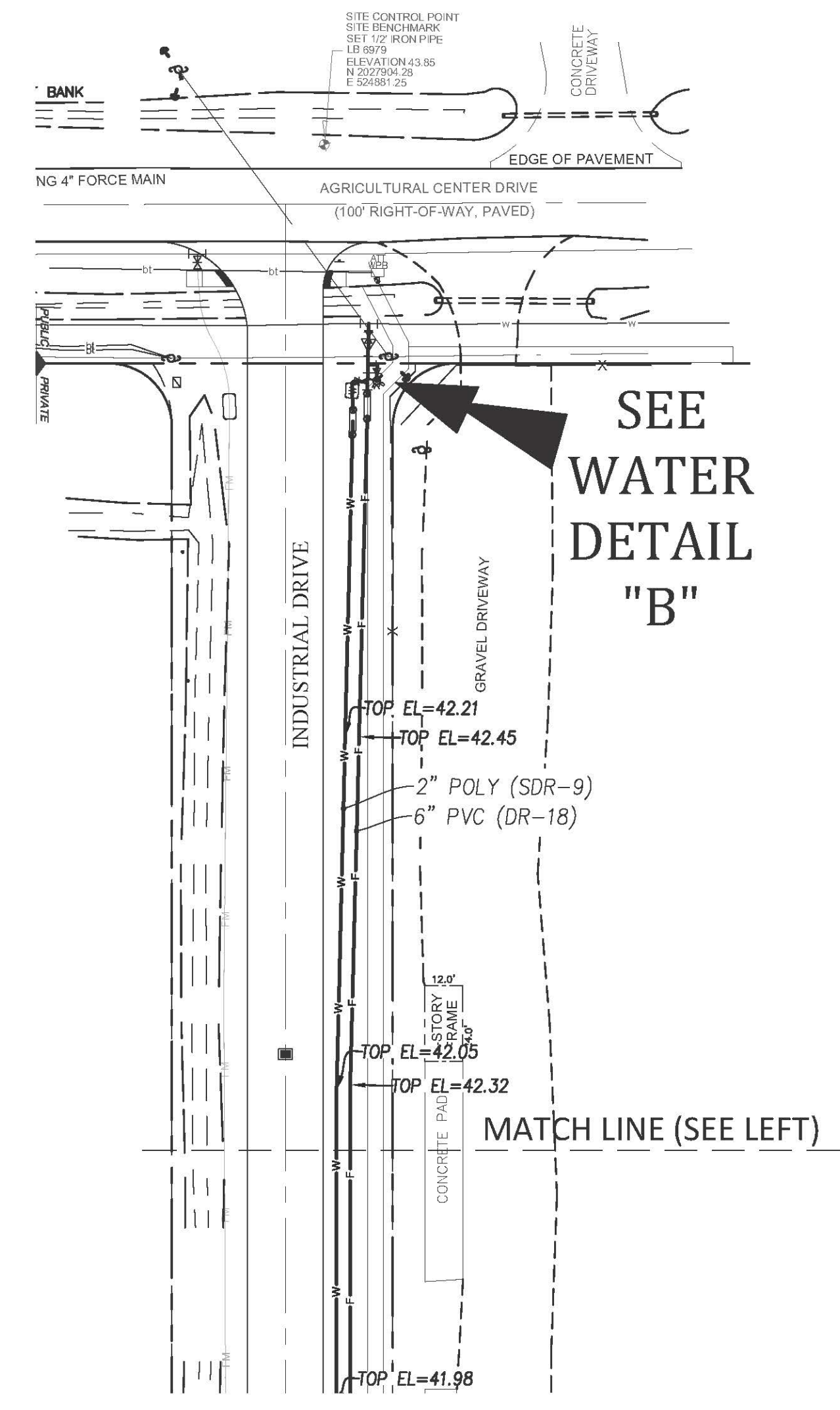
GRAPHIC SCALE



WATER DETAIL "A" 1" = 5'



WATER DETAIL "B" 1" = 5'



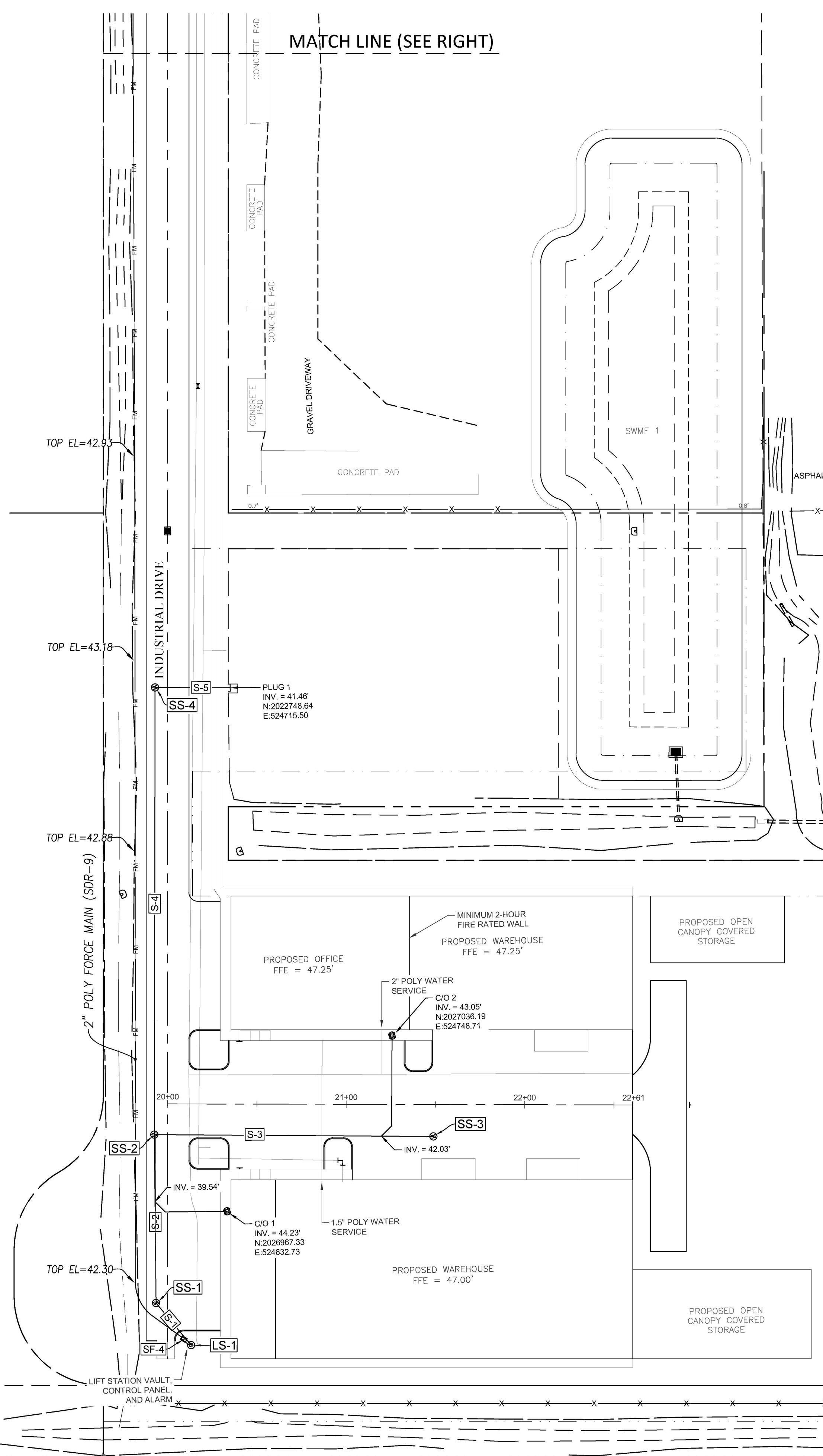
- AS-BUILT LEGEND:
- AB.....AS-BUILT
  - EL.....ELEVATION
  - INV.....INVERT OF PIPE
  - FG.....FINISHED GRADE
  - STA.....STATION
  - TOB.....TOP OF BANK
  - BOT.....BOTTOM
  - (d).....DECIMAL
  - (dd).....DECIMAL DEGREE
  - ELEVATIONS SHOWN THUS: 20.3 ARE GROUND SHOTS
  - ELEVATIONS SHOWN THUS: 20.34 ARE HARD SHOTS

MRE of JAX  
 ENTERPRISES, LLC.  
 6005 POWERS AVENUE, SUITE 104  
 JACKSONVILLE, FLORIDA 32217  
 LB 8276

AS-BUILT  
 OF WATER IMPROVEMENTS  
 ELEVATIONS AT LOCATIONS AS INDICATED

AGRICULTURAL CENTER  
 WAREHOUSE  
 ST. JOHNS COUNTY, FLORIDA

SHEET NO.  
 5  
 WATER



**SEWER STRUCTURE TABLE:**

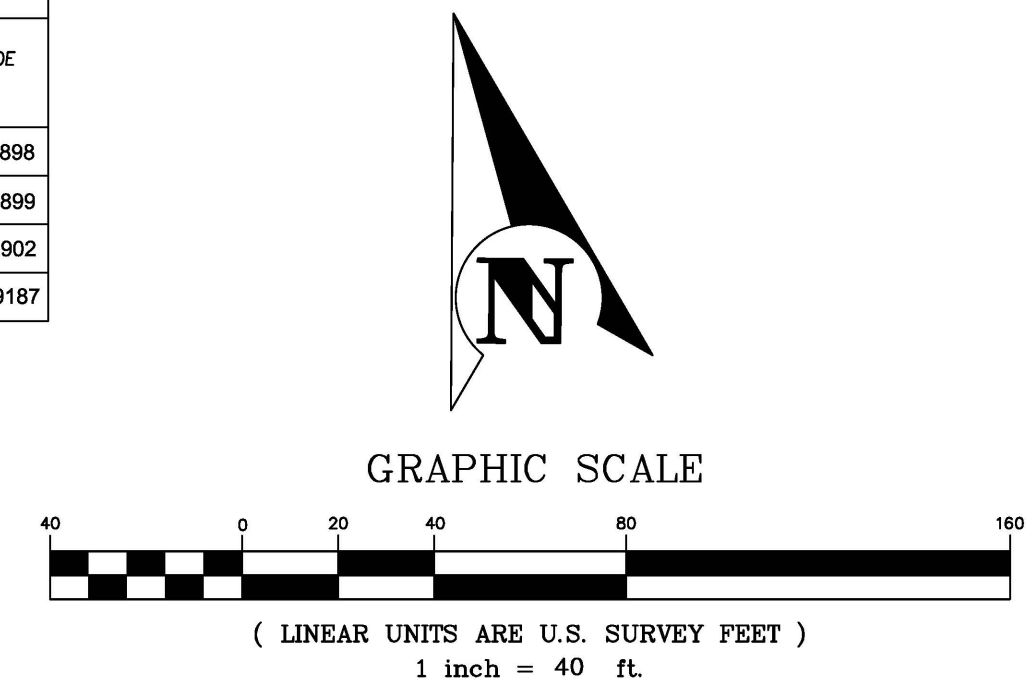
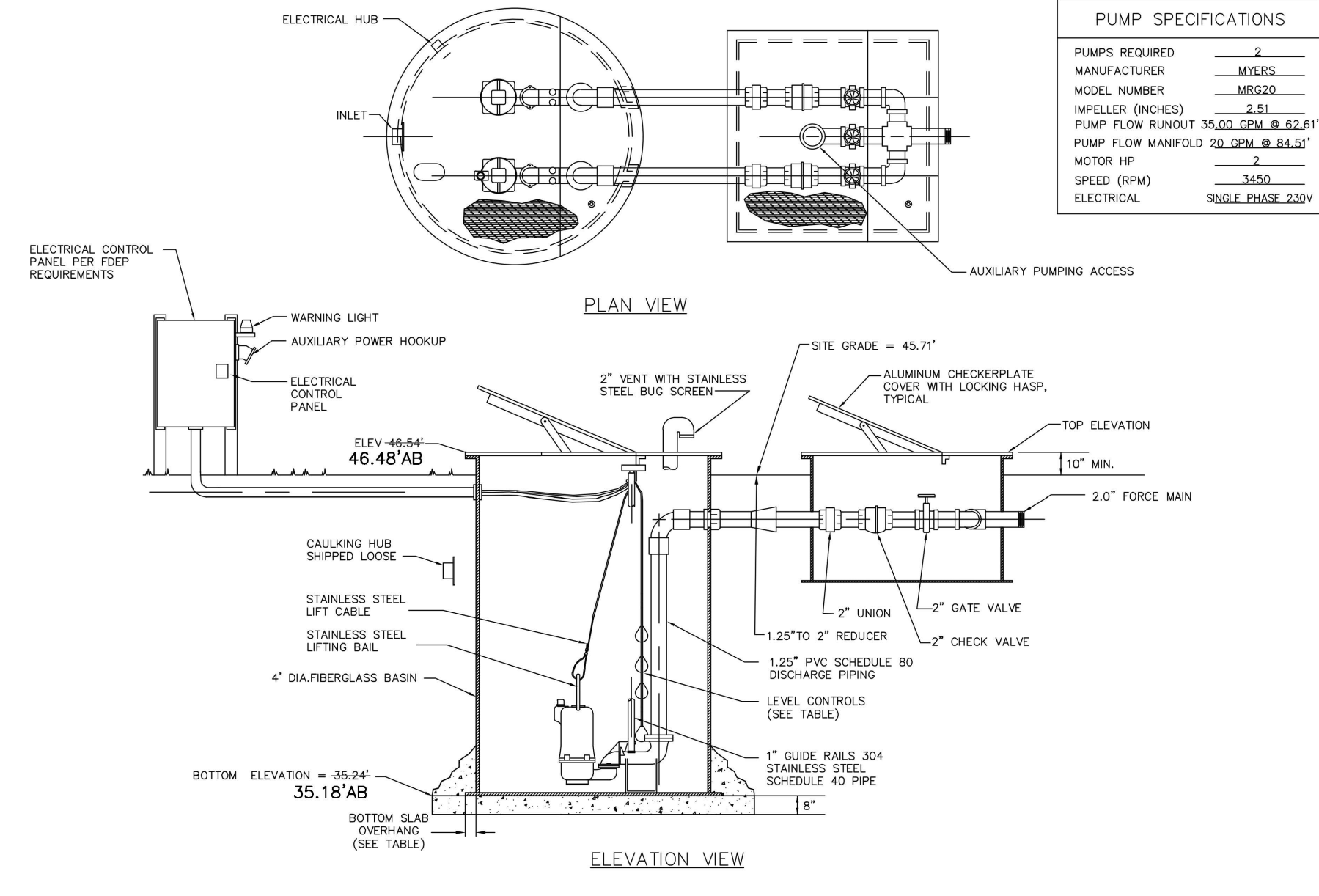
LABEL	TYPE	PROPOSED ELEVATIONS	AS-BUILT ELEVATIONS	AS-BUILT LOCATION
SS-1	MANHOLE	RIM=46.21 INV (N)=39.37 INV (S)=39.27	RIM=46.04 INV (N)=39.32 INV (S)=39.29	N:2026929.11 E:524580.24
SS-2	MANHOLE	RIM=45.72 INV (E)=39.95 INV (N)=39.95 INV (S)=39.75	RIM=45.78 INV (E)=39.77 INV (N)=39.82 INV (S)=39.69	N:2027019.82 E:524605.39
SS-3	MANHOLE	RIM=46.12 INV (W)=40.99	RIM=46.17 INV (W)=42.55	N:2026975.59 E:524755.36
SS-4	MANHOLE	RIM=46.49 INV (E)=41.05 INV (S)=40.95	RIM=47.27 INV (E)=40.86 INV (S)=40.76	N:2027260.41 E:524675.11

**SEWER PIPE TABLE:**

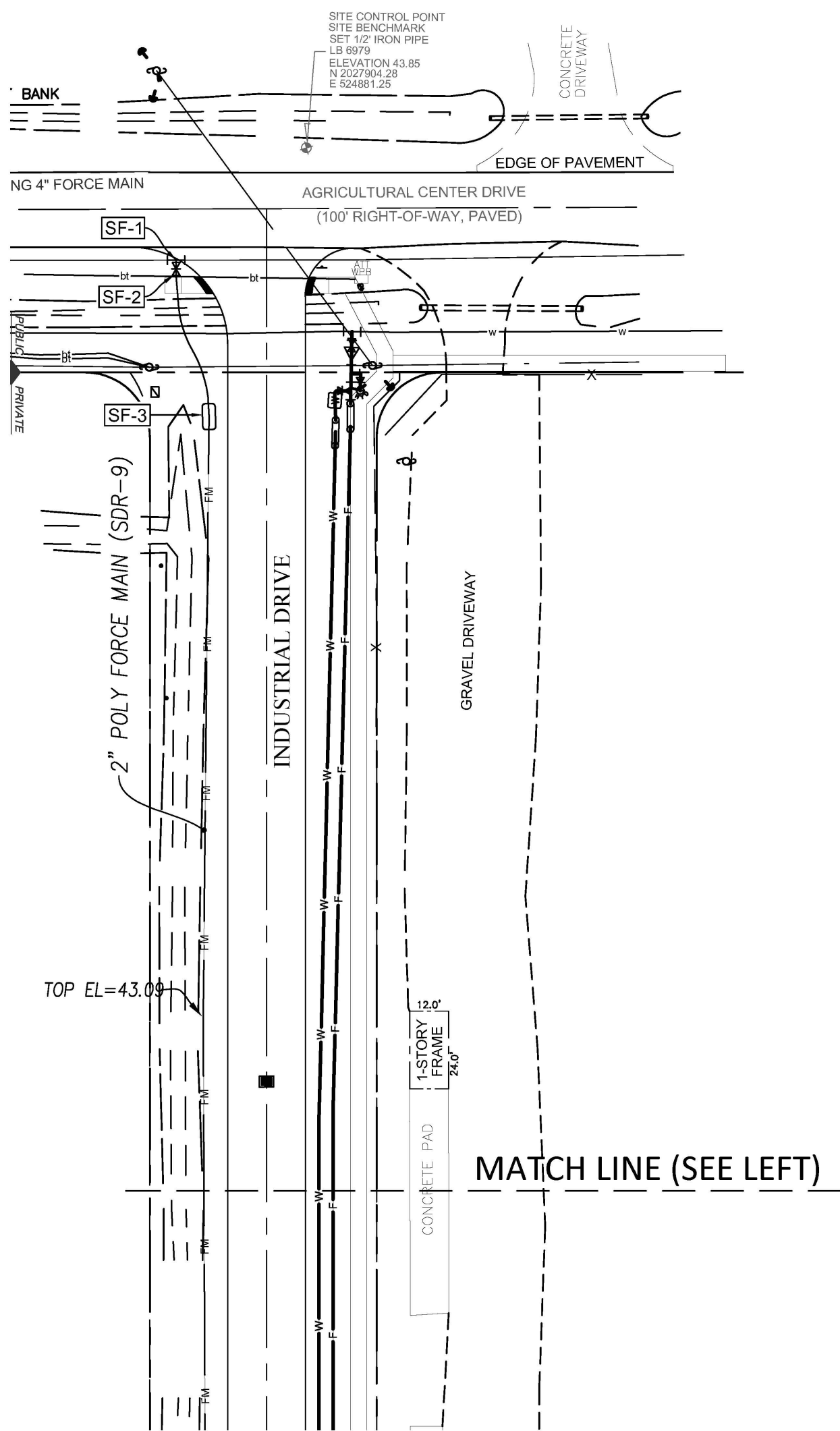
LABEL	PROPOSED LENGTH & SLOPE	AS-BUILT LENGTH & SLOPE
S-1	34 LF 8" SDR-35 @ 0.40%	29 LF 8" SDR-35 @ 1.00%
S-2	94 LF 8" SDR-35 @ 0.40%	93 LF 8" SDR-35 @ 0.40%
S-3	155 LF 8" SDR-35 @ 0.67%	155 LF 8" SDR-35 @ 1.82%
S-4	251 LF 8" SDR-35 @ 0.40%	249 LF 8" SDR-35 @ 0.40%
S-5	43 LF 8" SDR-35 @ 0.40%	41 LF 8" SDR-35 @ 1.46%

**FORCE MAIN FITTING TABLE**

FITTING	SUBTYPE	FITTING TYPE	FITTING SIZE PRIMARY (INCH)	FITTING SIZE SECONDARY (INCH)	FITTING MATERIAL	FITTING TOP ELEVATION (ft)	FINAL GRADE (ft)	DEPTH (FEET)	STATE PLANE X COORD (FEET)	STATE PLANE Y COORD (FEET)	LATITUDE (dd)	LONGITUDE (dd)
SF-1	TAP SLEEVE	4	2	S.S.	40.85	44.4	3.6	2027882.35	524832.50	N44.494837	W108.028898	
SF-2	GATE VALVE (NUT)	2	-	D.I.	42.34	45.8	3.5	2027879.76	524831.78	N44.494830	W108.028899	
SF-3	CHECK VALVE	2	-	D.I.	40.85	45.9	5.1	2027833.13	524828.91	N44.494702	W108.028902	
SF-4	VALVE VAULT	6	6	D.I.	40.85	45.9	5.1	2026905.44	524589.32	N44.492157	W108.029187	



- AS-BUILT LEGEND:**
- AB.....AS-BUILT
  - EL.....ELEVATION
  - INV.....INVERT OF PIPE
  - FG.....FINISHED GRADE
  - STA.....STATION
  - TOB.....TOP OF BANK
  - BOT.....BOTTOM
  - (d).....DECIMAL
  - (dd).....DECIMAL DEGREE
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  - ELEVATIONS SHOWN THUS: 20.34 ARE HARD SHOTS
- AS-BUILT NOTES:**
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  - ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
  - STATE PLANE COORDINATES SHOWN THUS:  
N #####.####, E #####.####  
ARE FLORIDA EAST ZONE (US FOOT) NAD\_83/2011.



AS BUILT	AS BUILT
INFORMATION PROVIDED BY:	INFORMATION PROVIDED BY:
DATE: 11/15/2021	NAME: MRE OF JAX
ADDRESS:	ADDRESS: 6005 POWERS AVE, SUITE 104
PHONE#:	PHONE#: (904) 379-8808
I CERTIFY THAT THE MATERIALS AND QUANTITIES USED IN THE CONSTRUCTION OF:	I HEREBY CERTIFY THAT THE:
PAVEMENT	WATER MAIN
CURB & GUTTER	SEWER & GUTTER
STORMWATER & DRAINAGE SYSTEM	SANITARY GRAVITY SYSTEM
UNDERDRAIN CONNECTIONS	FORCE MAIN
RETENTION BASIN	LIFT STATION
UNDERDRAIN CONNECTIONS	CHILLED WATER
RETENTION BASIN	RECLAIMED WATER
UNDERDRAIN CONNECTIONS	
ARE IN ACCORDANCE WITH THE APPROVED PLANS, STANDARDS AND COUNTY SPECIFICATIONS, UNLESS OTHERWISE APPROVED BY THE REGULATORY AGENCY.	ELECTRONIC DRAWING FILE NAME: AG CENTER UTILITY AS-BUILT
CONTRACTOR'S SIGNATURE	DATE OF FIELD SURVEY: OCTOBER, 2021
CONTRACTOR'S STATE LICENSE NUMBER	FILE DATE: 11/15/2021
	SIGNATURE: Anthony Paul O'Neil
	NAME: ANTHONY PAUL O'NEIL
	FLORIDA REG. LAND SURVEYOR'S NO.: PSM 5684
	THIS REPORT AND DIGITAL FILE ARE NOT FULL AND COMPLETE WITHOUT THE OTHER SHEETS AND NOT VALID WITHOUT THE SIGNATURE AND SEAL OF THE FLORIDA LICENSED SURVEYOR

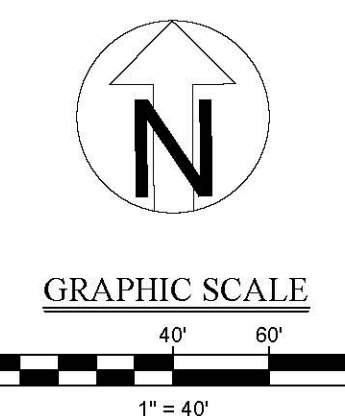
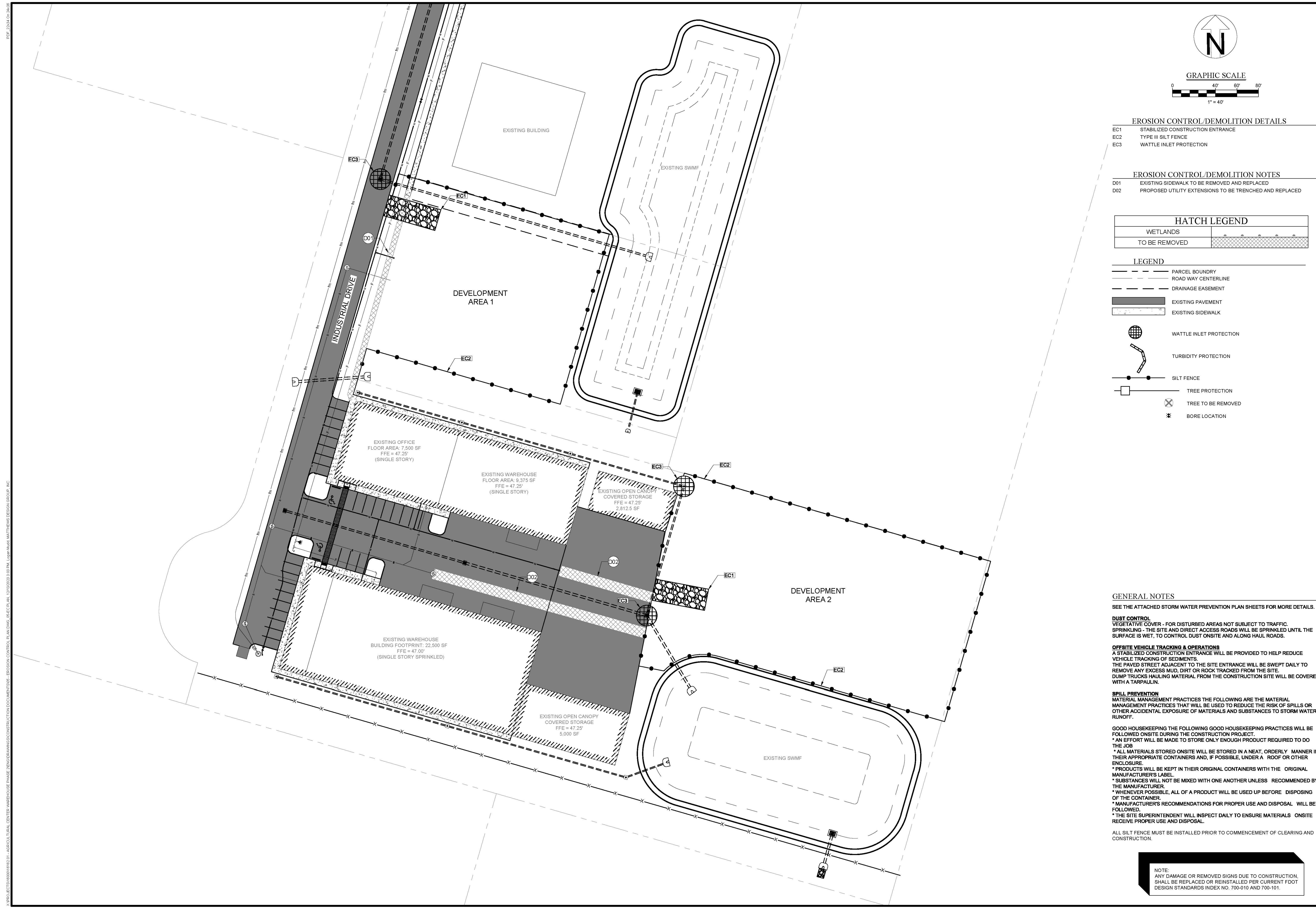
**Anthony O'Neil**  
Digitally signed by Anthony O'Neil  
Date: 2022.02.14 09:19:35 -05'00'

**MRE of JAX ENTERPRISES, LLC.**  
6005 POWERS AVENUE, SUITE 104  
JACKSONVILLE, FLORIDA 32217  
LB 8276

**AS-BUILT**  
OF SEWER IMPROVEMENTS  
ELEVATIONS AT LOCATIONS AS INDICATED

**AGRICULTURAL CENTER WAREHOUSE**  
ST. JOHNS COUNTY, FLORIDA

SHEET NO.  
**6**  
SEWER



**EROSION CONTROL/DEMOLITION DETAILS**

EC1	STABILIZED CONSTRUCTION ENTRANCE
EC2	TYPE III SILT FENCE
EC3	WATTLE INLET PROTECTION

**EROSION CONTROL/DEMOLITION NOTES**

D01	EXISTING SIDEWALK TO BE REMOVED AND REPLACED
D02	PROPOSED UTILITY EXTENSIONS TO BE TRENCHED AND REPLACED

**HATCH LEGEND**

[Cross-hatch pattern]	WETLANDS
[Diagonal lines]	TO BE REMOVED

**LEGEND**

[Dashed line]	PARCEL BOUNDARY
[Dotted line]	ROAD WAY CENTERLINE
[Dash-dot line]	DRAINAGE EASEMENT
[Solid grey area]	EXISTING PAVEMENT
[Dotted grey area]	EXISTING SIDEWALK
[Circle with globe]	WATTLE INLET PROTECTION
[Line with flag]	TURBIDITY PROTECTION
[Line with dots]	SILT FENCE
[Square with cross]	TREE PROTECTION
[Circle with X]	TREE TO BE REMOVED
[Star symbol]	BORE LOCATION

**GENERAL NOTES**

SEE THE ATTACHED STORM WATER PREVENTION PLAN SHEETS FOR MORE DETAILS.

**DUST CONTROL**  
 VEGETATIVE COVER - FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC SPRINKLING - THE SITE AND DIRECT ACCESS ROADS WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TO CONTROL DUST ONSITE AND ALONG HAUL ROADS.

**OFFSITE VEHICLE TRACKING & OPERATIONS**  
 A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS.  
 THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE.  
 DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

**SPILL PREVENTION**  
 MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.  
 GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.  
 \* AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.  
 \* ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.  
 \* PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.  
 \* SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.  
 \* WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.  
 \* MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.  
 \* THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL.

ALL SILT FENCE MUST BE INSTALLED PRIOR TO COMMENCEMENT OF CLEARING AND CONSTRUCTION.

NOTE:  
 ANY DAMAGE OR REMOVED SIGNS DUE TO CONSTRUCTION, SHALL BE REPLACED OR REINSTALLED PER CURRENT PDOT DESIGN STANDARDS INDEX NO. 700-010 AND 700-101.

**EROSION CONTROL & DEMOLITION PLAN**

AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 ST. JOHNS COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PA VEMENT MARKINGS, INC.

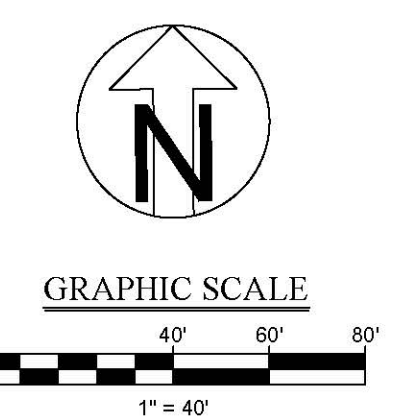
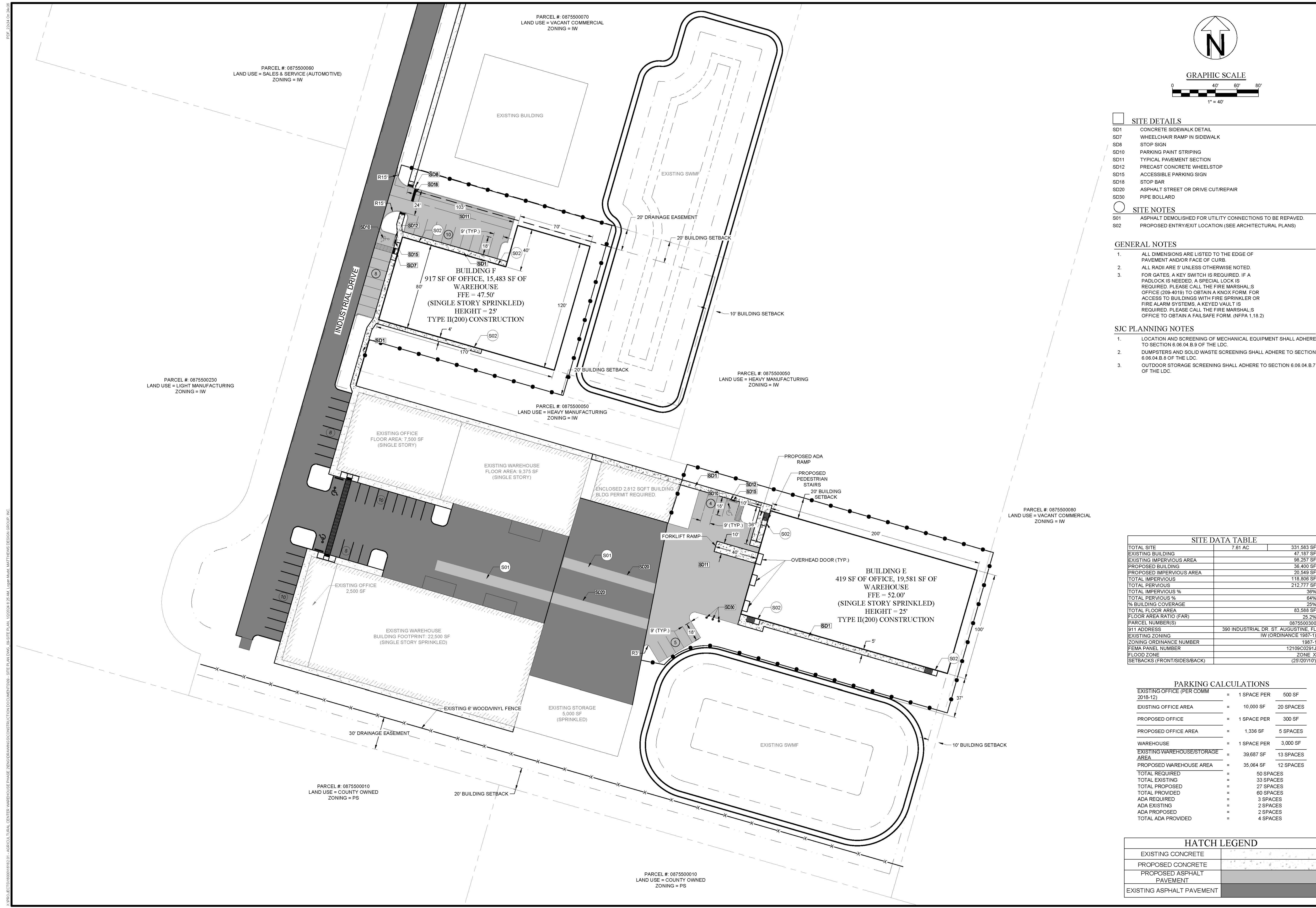
**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MDGINC.COM

NO.	DATE	DESCRIPTION
1	6-23-23	PER S.J.C COMMENTS

REGISTERED ENGINEER  
 C. J. MATTHEWS  
 CA26533, FL 07155

16182.01

07  
 OF 21



- SITE DETAILS**
- SD1 CONCRETE SIDEWALK DETAIL
  - SD7 WHEELCHAIR RAMP IN SIDEWALK
  - SD8 STOP SIGN
  - SD10 PARKING PAINT STRIPING
  - SD11 TYPICAL PAVEMENT SECTION
  - SD12 PRECAST CONCRETE WHEELSTOP
  - SD15 ACCESSIBLE PARKING SIGN
  - SD18 STOP BAR
  - SD20 ASPHALT STREET OR DRIVE CUT/REPAIR
  - SD30 PIPE BOLLARD
- SITE NOTES**
- S01 ASPHALT DEMOLISHED FOR UTILITY CONNECTIONS TO BE REPAVED.
  - S02 PROPOSED ENTRY/EXIT LOCATION (SEE ARCHITECTURAL PLANS)

- GENERAL NOTES**
- ALL DIMENSIONS ARE LISTED TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB.
  - ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
  - FOR GATES, A KEY SWITCH IS REQUIRED. IF A PADLOCK IS NEEDED, A SPECIAL LOCK IS REQUIRED. PLEASE CALL THE FIRE MARSHAL'S OFFICE (209-4019) TO OBTAIN A KNOX FORM FOR ACCESS TO BUILDINGS WITH FIRE SPRINKLER OR FIRE ALARM SYSTEMS. A KEYS VAULT IS REQUIRED. PLEASE CALL THE FIRE MARSHAL'S OFFICE TO OBTAIN A FAILSAFE FORM. (NFPA 1, 18.2)
- SIC PLANNING NOTES**
- LOCATION AND SCREENING OF MECHANICAL EQUIPMENT SHALL ADHERE TO SECTION 6.06.04 B.9 OF THE LDC.
  - DUMPSTERS AND SOLID WASTE SCREENING SHALL ADHERE TO SECTION 6.05.04 B.8 OF THE LDC.
  - OUTDOOR STORAGE SCREENING SHALL ADHERE TO SECTION 6.06.04 B.7 OF THE LDC.

SITE DATA TABLE		
TOTAL SITE	7.81 AC	331,583 SF
EXISTING BUILDING		47,187 SF
EXISTING IMPERVIOUS AREA		98,257 SF
PROPOSED BUILDING		38,400 SF
PROPOSED IMPERVIOUS AREA		20,549 SF
TOTAL IMPERVIOUS		118,806 SF
TOTAL PERVIOUS		212,777 SF
TOTAL IMPERVIOUS %		35%
TOTAL PERVIOUS %		64%
% BUILDING COVERAGE		25%
TOTAL FLOOR AREA		83,588 SF
FLOOR AREA RATIO (FAR)		25.2%
PARCEL NUMBER(S)		0875500230
911 ADDRESS		380 INDUSTRIAL DR. ST. AUGUSTINE, FL
EXISTING ZONING		IW (ORDINANCE 1987-1)
ZONING ORDINANCE NUMBER		1987-1
FEMA PANEL NUMBER		12198C0291J
FLOOD ZONE		ZONE X
SETBACKS (FRONT/SIDES/BACK)		(25'/20'/10')

PARKING CALCULATIONS		
EXISTING OFFICE (PER COMM 2018-12)	= 1 SPACE PER	500 SF
EXISTING OFFICE AREA	= 10,000 SF	20 SPACES
PROPOSED OFFICE	= 1 SPACE PER	300 SF
PROPOSED OFFICE AREA	= 1,336 SF	5 SPACES
WAREHOUSE	= 1 SPACE PER	3,000 SF
EXISTING WAREHOUSE/STORAGE AREA	= 39,687 SF	13 SPACES
PROPOSED WAREHOUSE AREA	= 35,064 SF	12 SPACES
TOTAL REQUIRED	=	50 SPACES
TOTAL EXISTING	=	33 SPACES
TOTAL PROPOSED	=	27 SPACES
TOTAL PROVIDED	=	60 SPACES
ADA REQUIRED	=	3 SPACES
ADA EXISTING	=	2 SPACES
ADA PROPOSED	=	2 SPACES
TOTAL ADA PROVIDED	=	4 SPACES

HATCH LEGEND	
EXISTING CONCRETE	[Hatch Pattern]
PROPOSED CONCRETE	[Hatch Pattern]
PROPOSED ASPHALT PAVEMENT	[Hatch Pattern]
EXISTING ASPHALT PAVEMENT	[Hatch Pattern]

**MATTHEWS DESIGN GROUP**  
P.O. BOX 3126, 7 WALDO STREET  
ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334 • FAX: 904.826.4547  
INFO@MIDG.COM

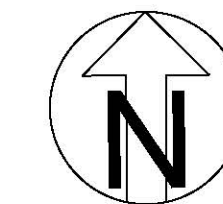
**SITE PLAN**  
AGRICULTURAL CENTER WAREHOUSE PHASE 2  
ST. JOHNS COUNTY  
PREPARED FOR  
SOUTHERN STATES PAVEMENT MARKINGS, INC.

NO.	DATE	DESCRIPTION
1	6-23-23	PER SJC COMMENTS

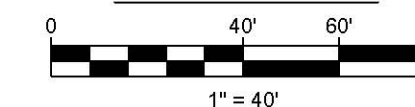
REGISTERED ENGINEER  
STATE OF FLORIDA  
CAB#5533, FL #27455

16182.01

08 OF 21

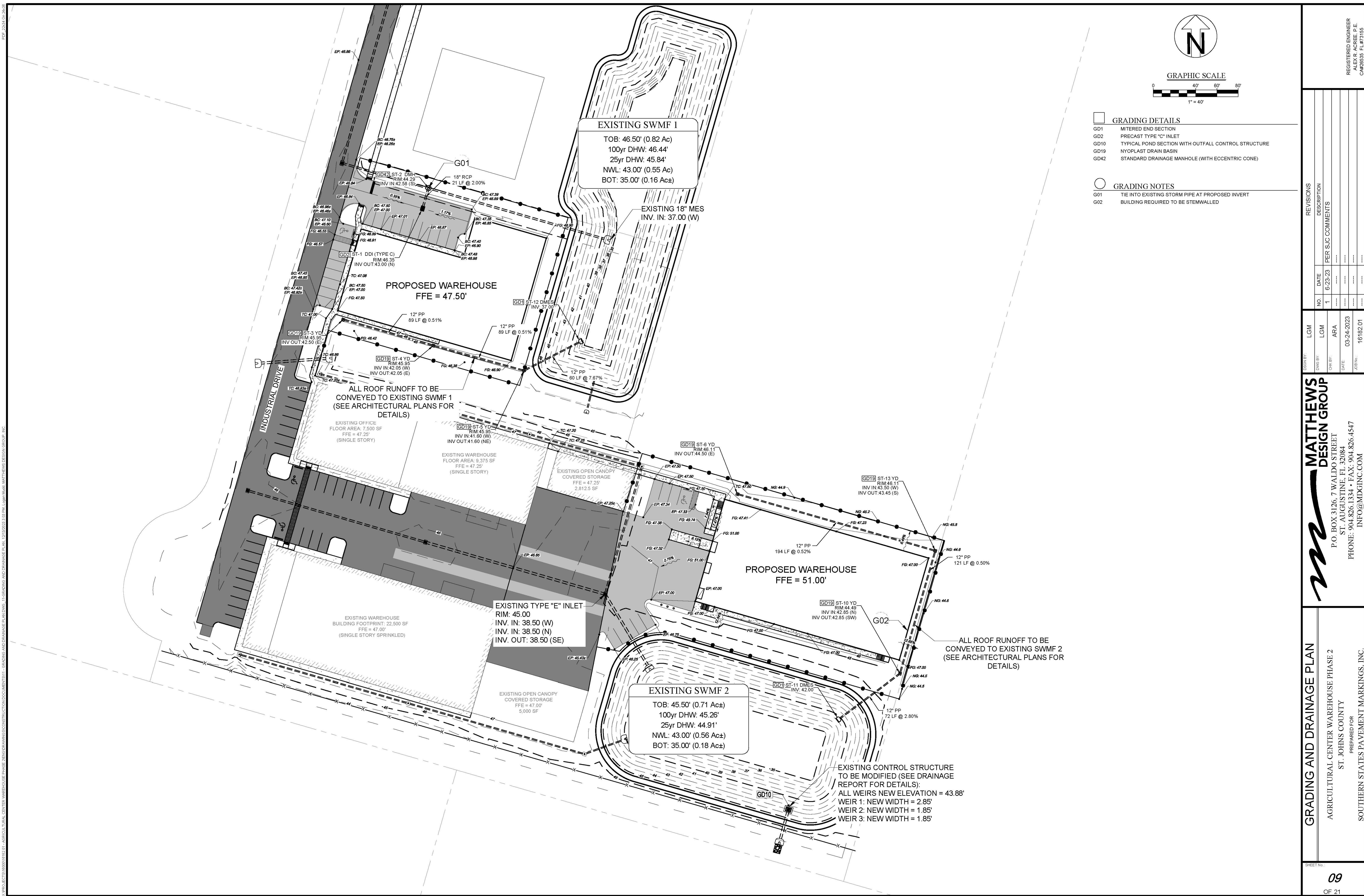


GRAPHIC SCALE



- GRADING DETAILS
- GD1 MITERED END SECTION
- GD2 PRECAST TYPE "C" INLET
- GD10 TYPICAL POND SECTION WITH OUTFALL CONTROL STRUCTURE
- GD19 NYOPLAST DRAIN BASIN
- GD42 STANDARD DRAINAGE MANHOLE (WITH ECCENTRIC CONE)

- GRADING NOTES
- G01 TIE INTO EXISTING STORM PIPE AT PROPOSED INVERT
- G02 BUILDING REQUIRED TO BE STEMWALLED



**GRADING AND DRAINAGE PLAN**

AGRICULTURAL CENTER WAREHOUSE PHASE 2

ST. JOHNS COUNTY

SOUTHERN STATES PA VEMENT MARKINGS, INC.

PREPARED FOR

REGISTERED ENGINEER

PAUL E. CASPARI, P.E.

CASPS33, FL #7315

**MATTHEWS DESIGN GROUP**

P.O. BOX 3126, 7 WALDO STREET

ST. AUGUSTINE, FL 32084

PHONE: 904.826.1334 • FAX: 904.826.4547

INFO@MIDG.COM

NO.	DATE	DESCRIPTION
1	6-23-23	PER SJC COMMENTS

JOB NO.: 161822.01

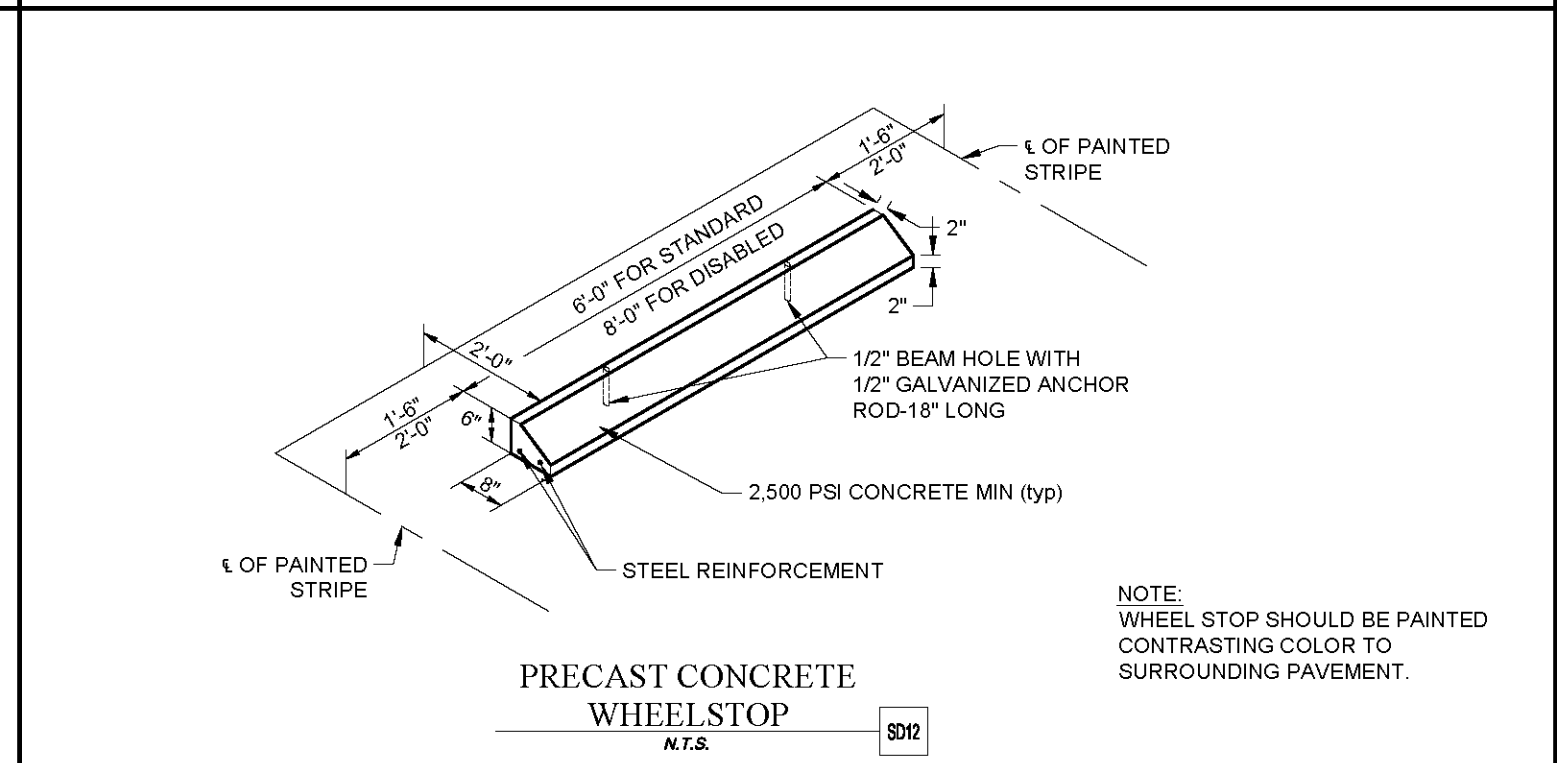
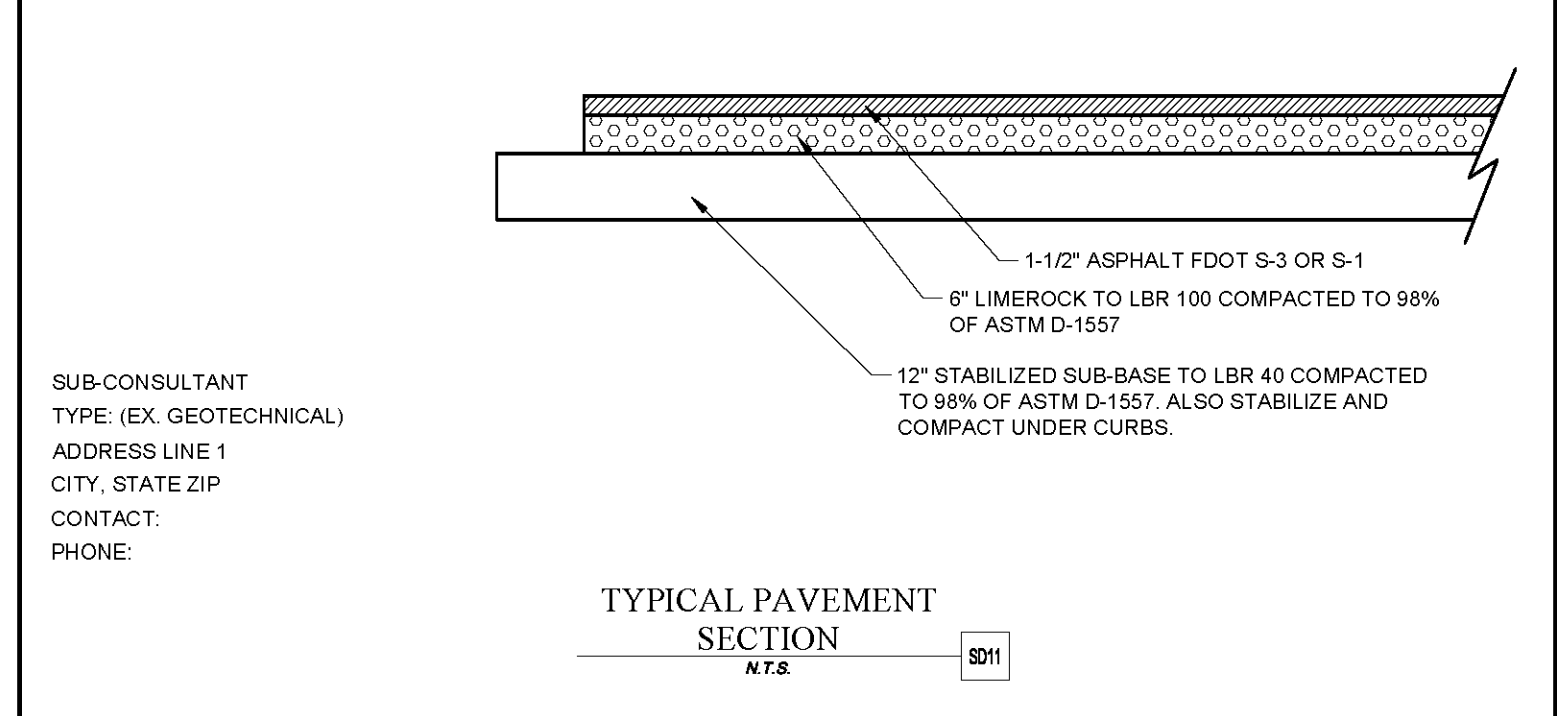
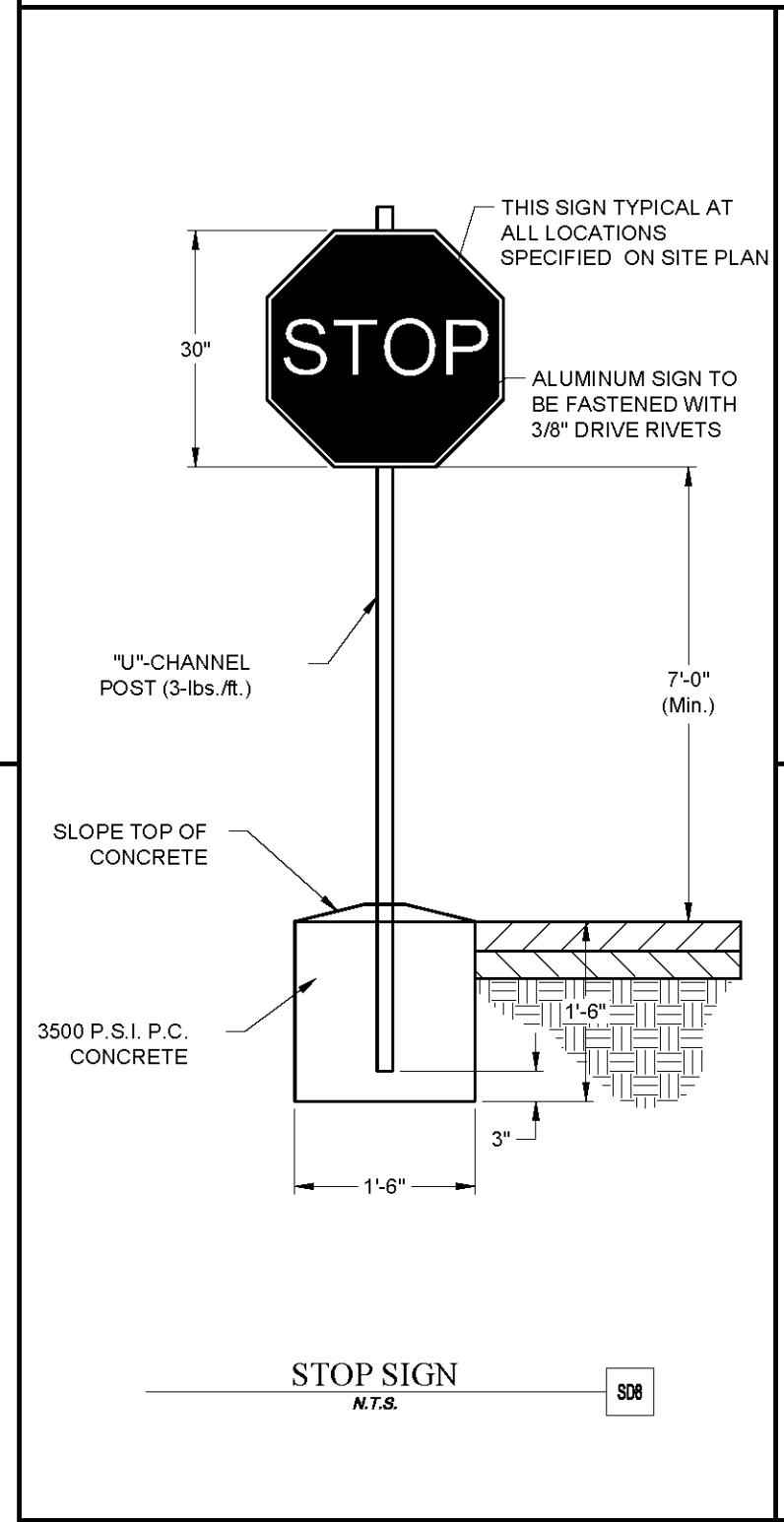
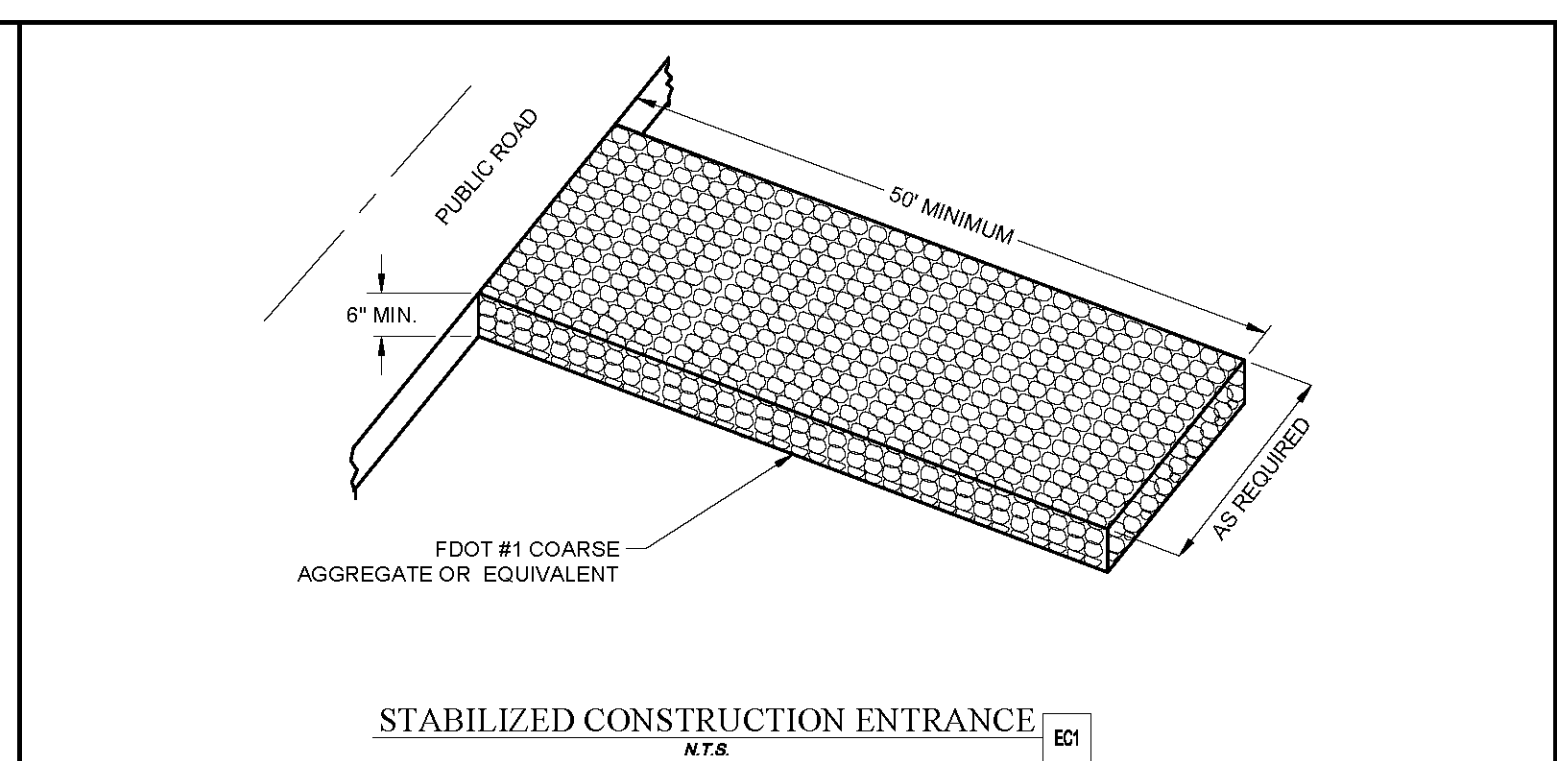
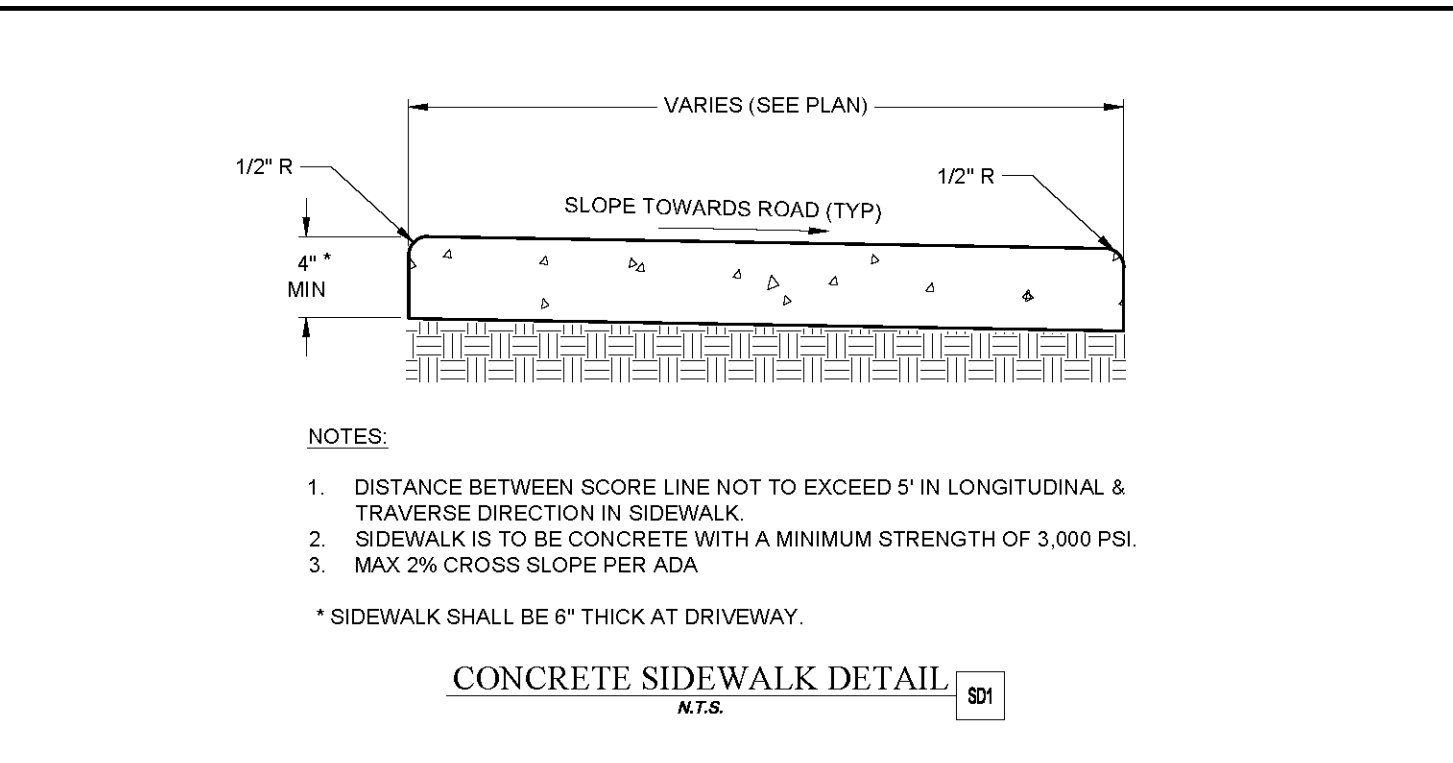
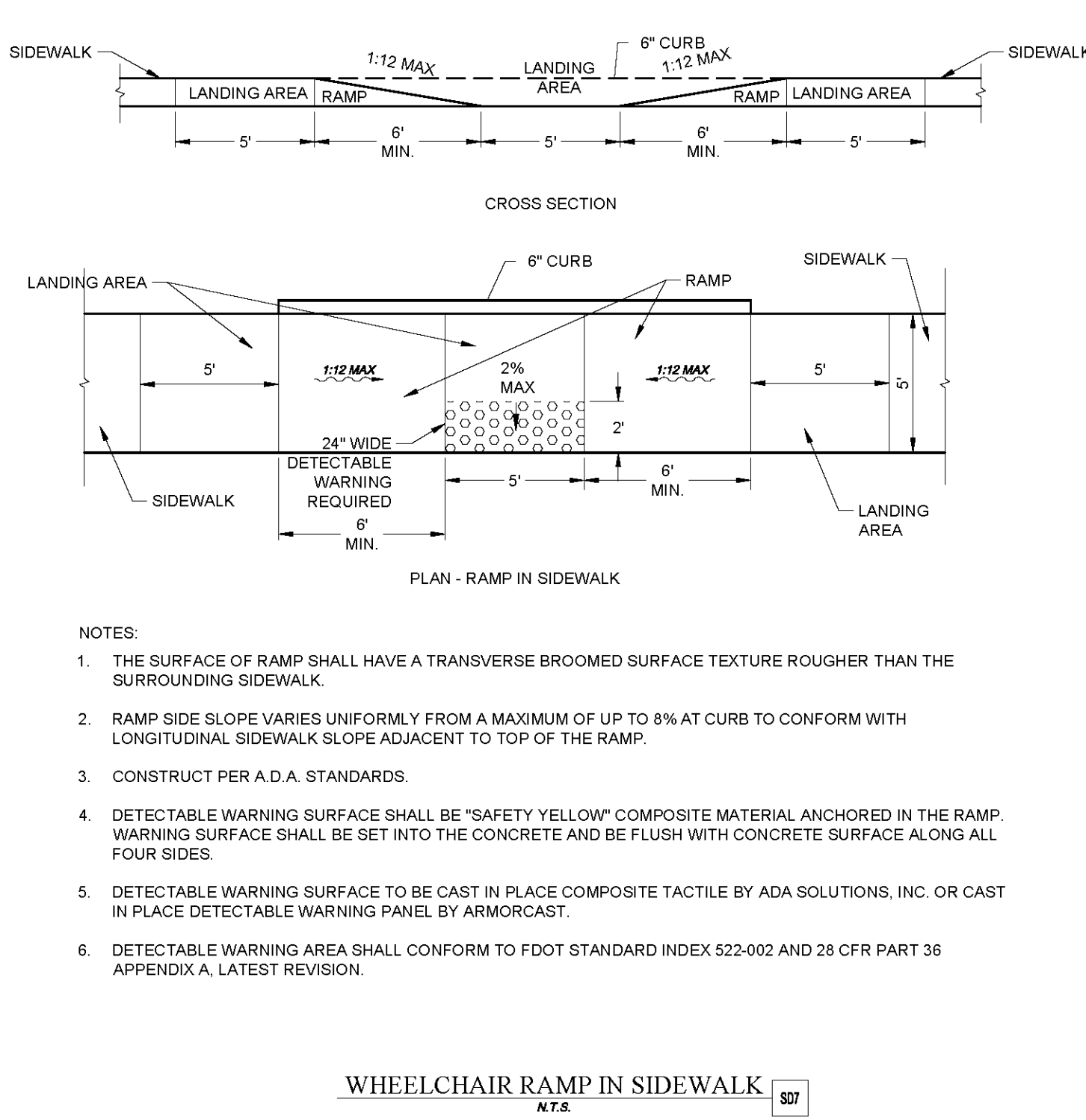
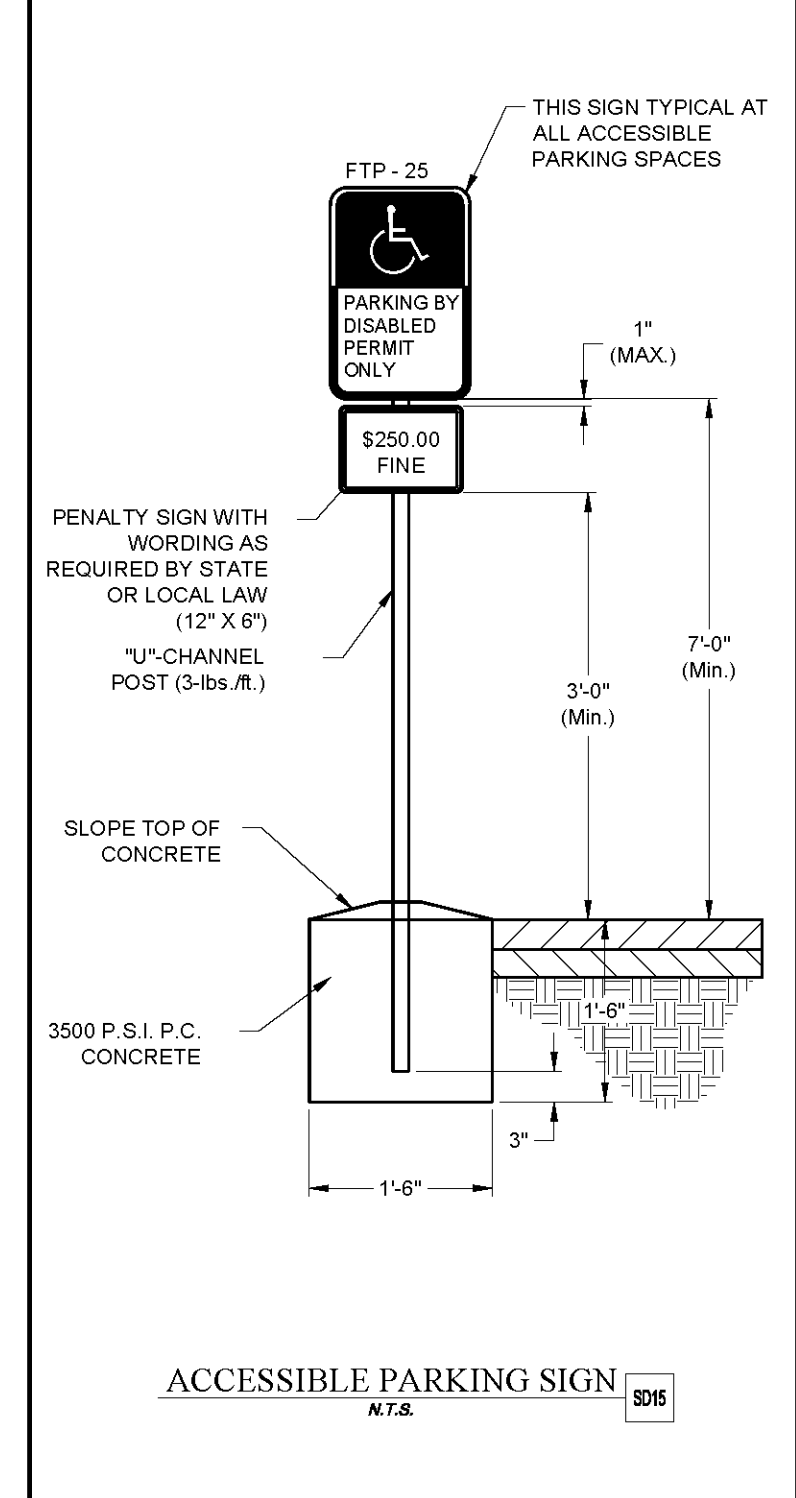
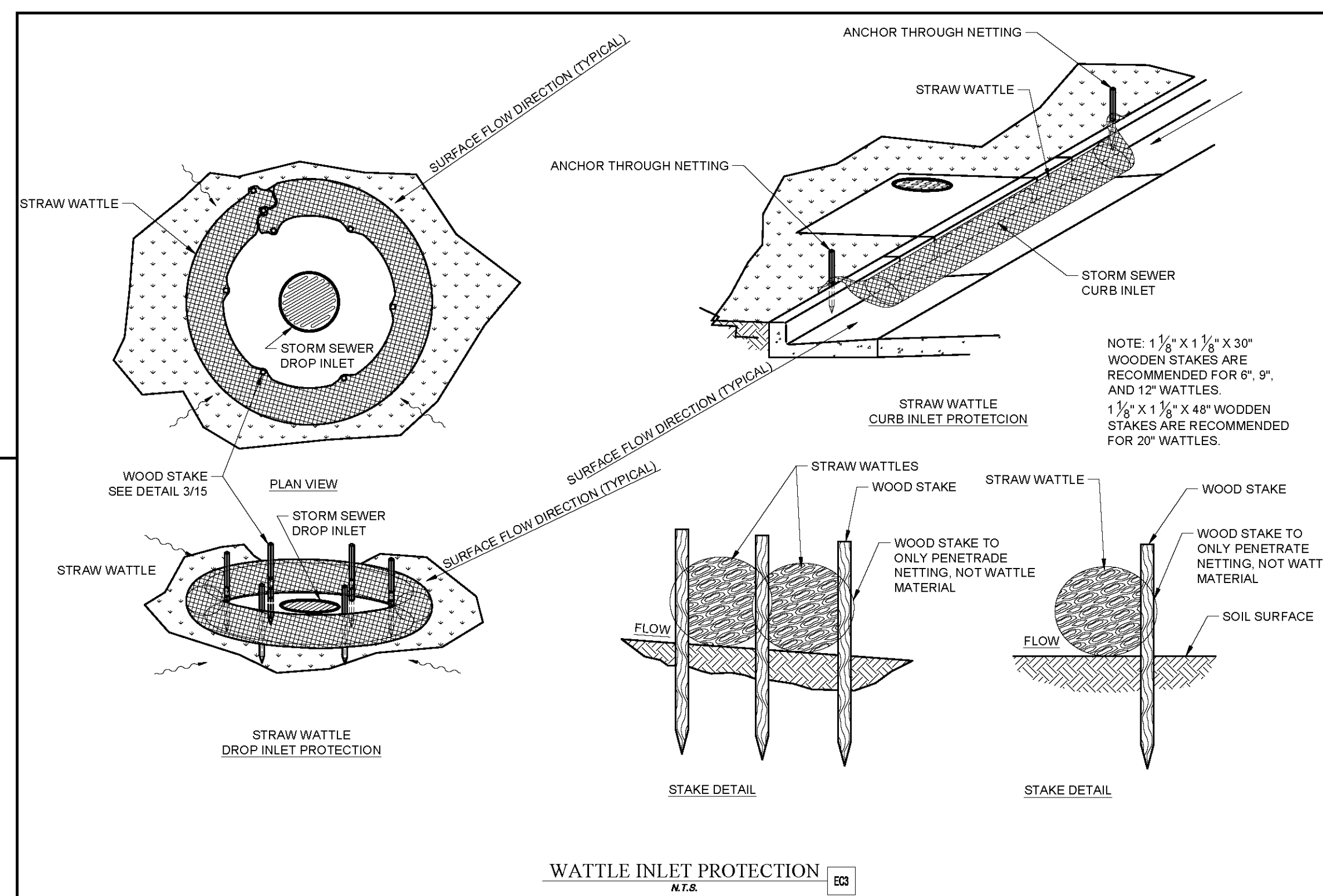
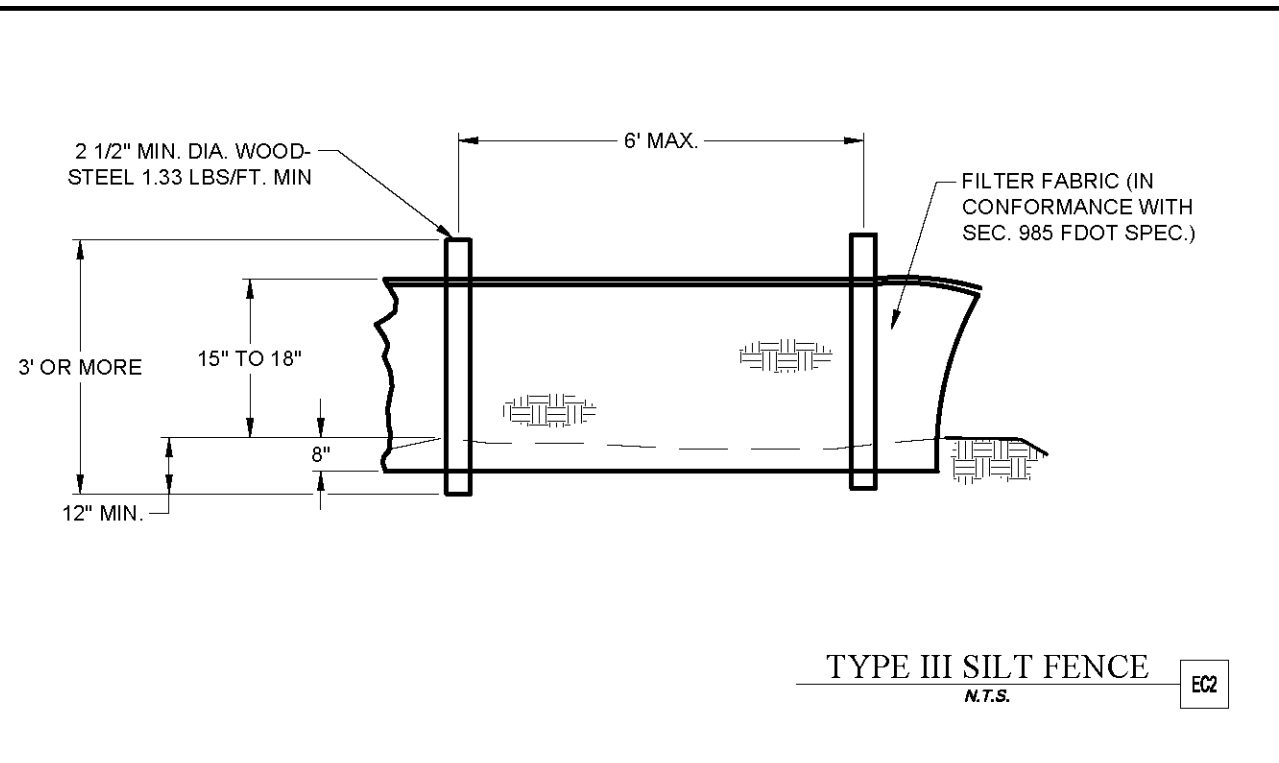
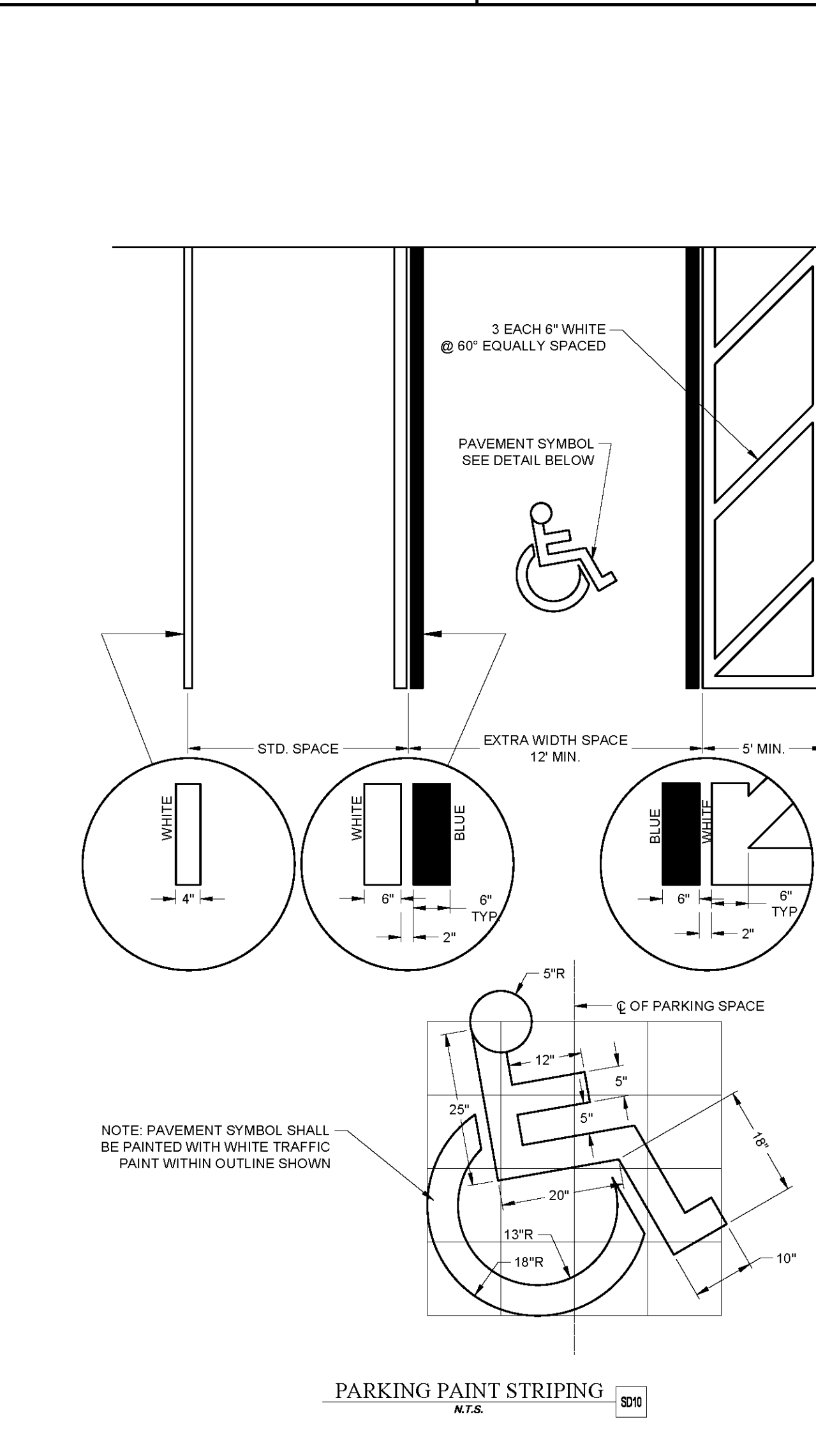
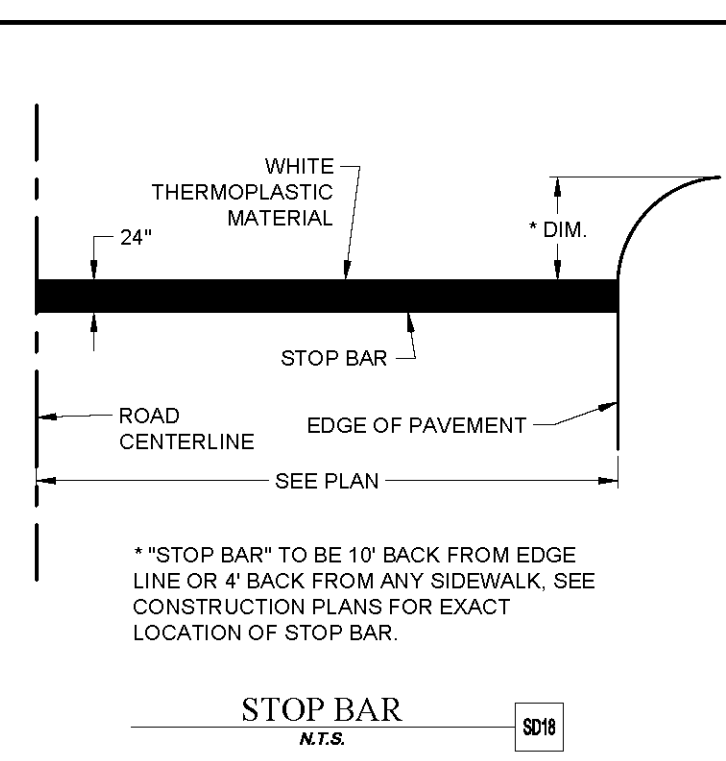
NO.	DATE	DESCRIPTION
1	6-23-23	PER SJC COMMENTS

REGISTERED ENGINEER

PAUL E. CASPARI, P.E.

CASPS33, FL #7315

6/23/23 10:00 AM  
 16182.01  
 03-24-2023  
 AFA  
 LGM  
 LGM  
 1  
 6-23-23  
 PER S.J.C COMMENTS  
 REGISTERED ENGINEER  
 E  
 CAPSS33, FL #7315



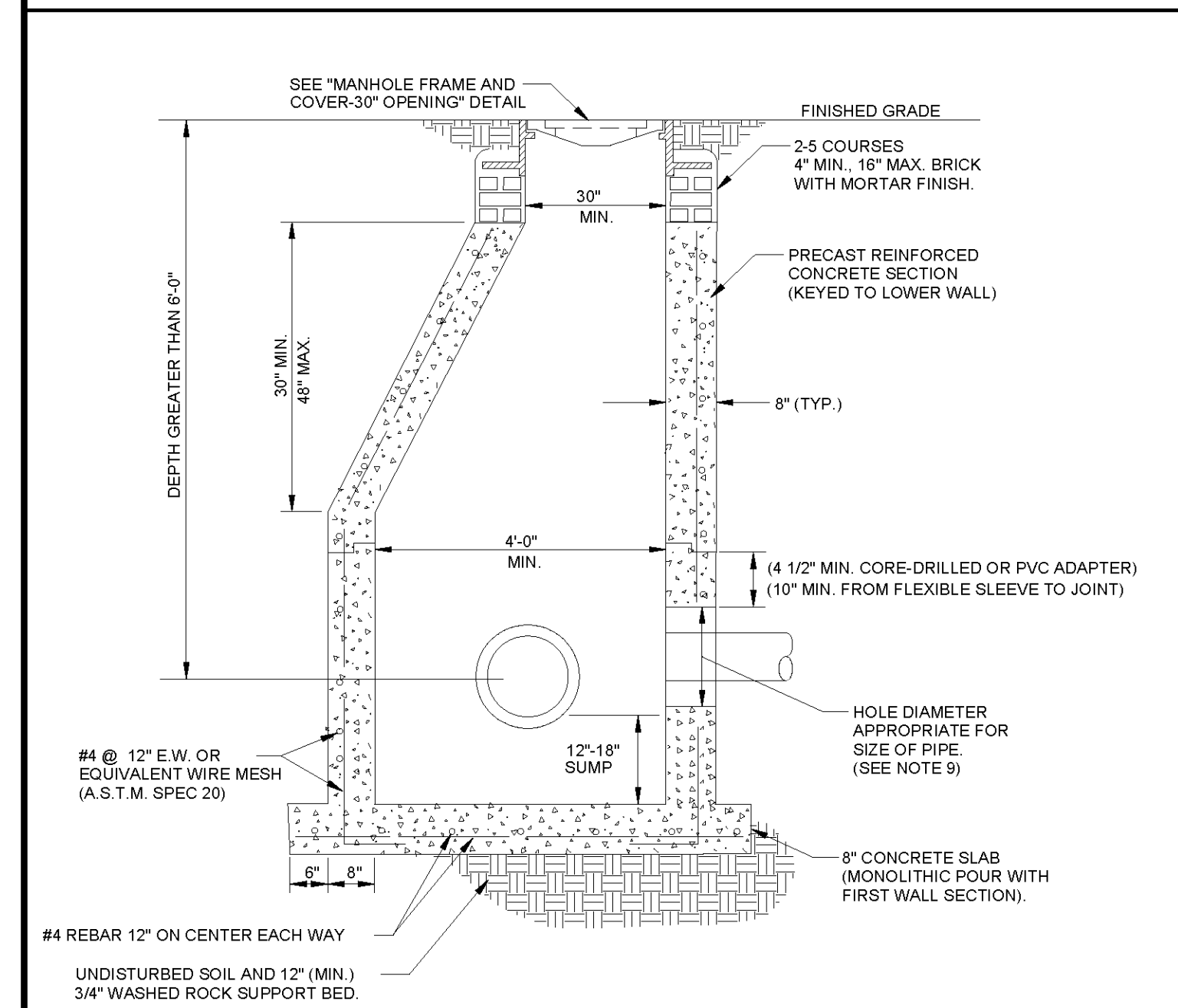
**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MDGINC.COM

**CONSTRUCTION DETAILS**  
 AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 ST. JOHNS COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.

NO.	DATE	DESCRIPTION
1	6-23-23	PER S.J.C COMMENTS

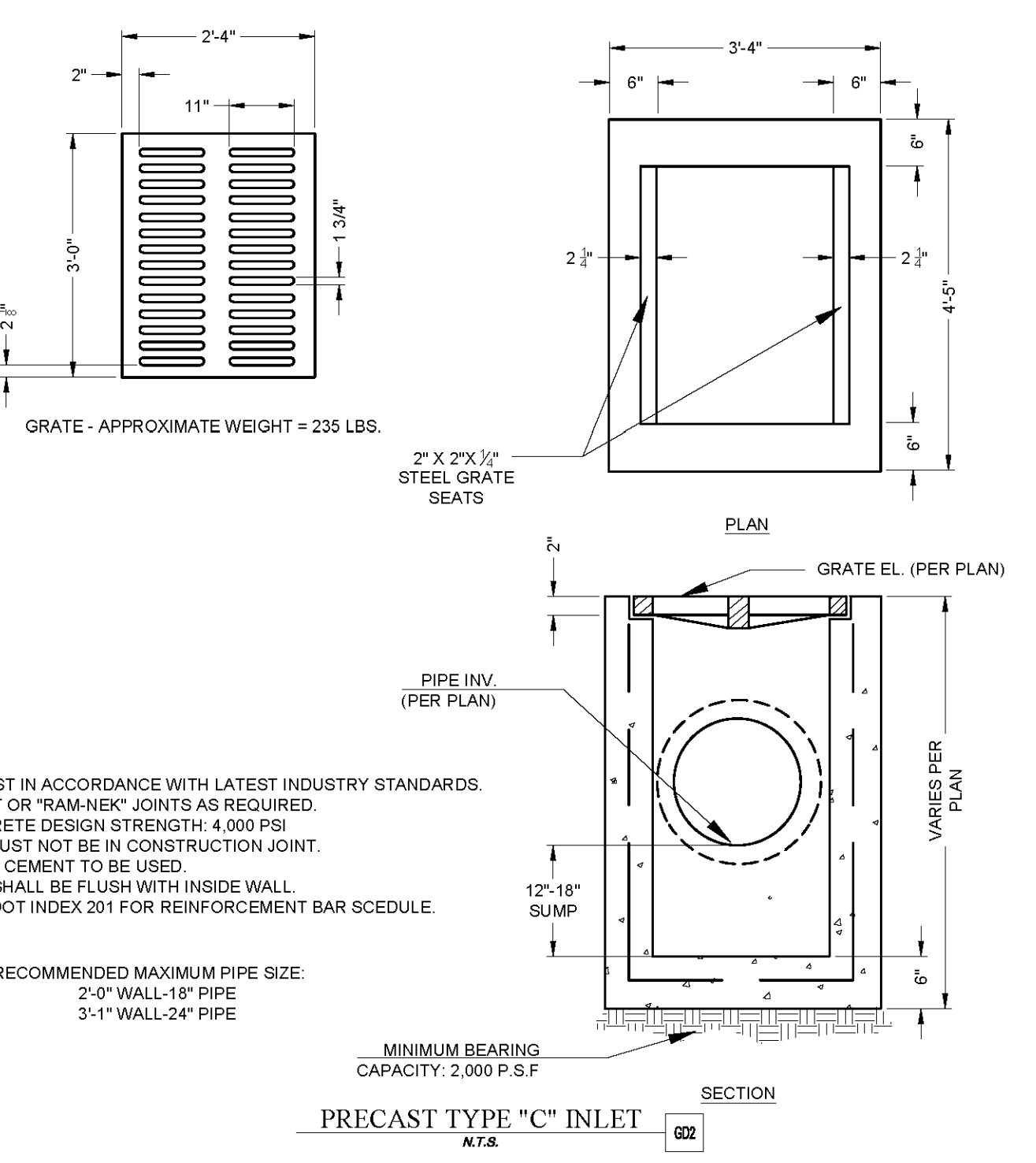
SHEET NO. **11**  
 OF 21

PROJECT NO. 2024-001-001  
 DRAWING NO. 2024-001-001-001  
 DATE: 03-24-2023  
 PROJECT: AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 DRAWN BY: LCM  
 CHECKED BY: AFA  
 PROJECT LOCATION: 7 WALDO STREET, ST. AUGUSTINE, FL 32084  
 CLIENT: MATTHEWS DESIGN GROUP, INC.  
 PROJECT MANAGER: JAMES MATTHEWS  
 PROJECT ENGINEER: JAMES MATTHEWS  
 PROJECT SUPERVISOR: JAMES MATTHEWS  
 PROJECT DESIGNER: JAMES MATTHEWS  
 PROJECT CHECKER: JAMES MATTHEWS  
 PROJECT APPROVER: JAMES MATTHEWS  
 PROJECT REVIEWER: JAMES MATTHEWS  
 PROJECT REVISIONS: JAMES MATTHEWS  
 PROJECT COMMENTS: JAMES MATTHEWS  
 PROJECT DATE: 03-24-2023  
 PROJECT JOB NO.: 16182.01



- NOTES:**
1. PRECAST CONCRETE TYPE II 4000 P.S.I.
  2. "RAMNEK" OR EQUAL AT ALL RISER JOINTS (1/2" THICK WITH THE WIDTH AT LEAST 1/2 THE WALL THICKNESS) WITH GROUT ON INSIDE AND OUTSIDE.
  3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
  4. LIFT HOLES ARE NOT PERMITTED.
  5. ALL PIPE OPENINGS SHALL BE PRECAST.
  6. MANHOLE FABRICATION SHALL BE IN ACCORDANCE WITH ASTM C-478, LATEST STANDARD.
  7. ANY VISIBLE REINFORCING WIRE, STEEL OR HONEYCOMBS SHALL BE CAUSE FOR REJECTION.
  8. REFER TO F.D.O.T. STANDARD INDEXES 425-001 & 425-010 FOR OTHER APPROVED MANHOLES TO BE PERMITTED.

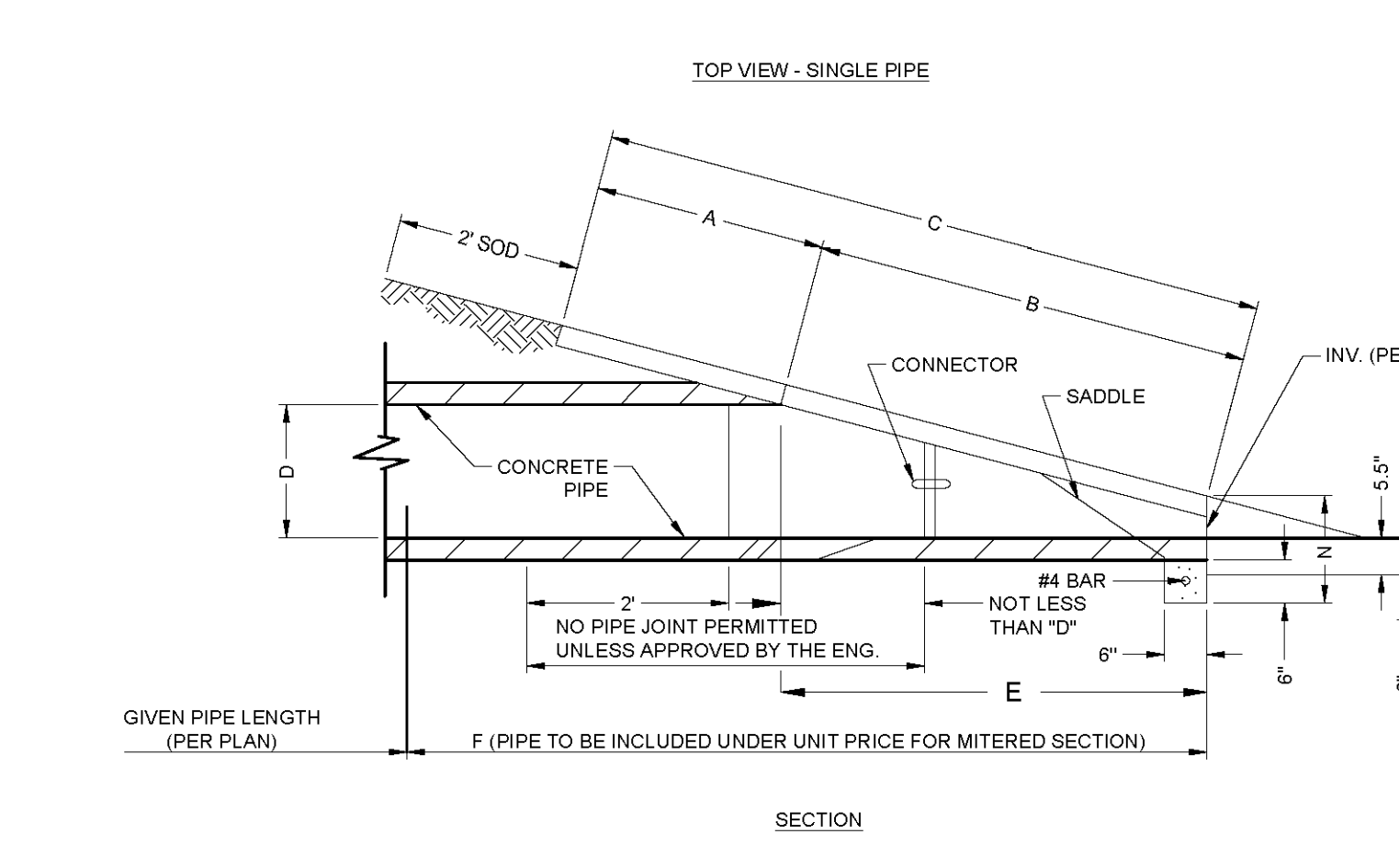
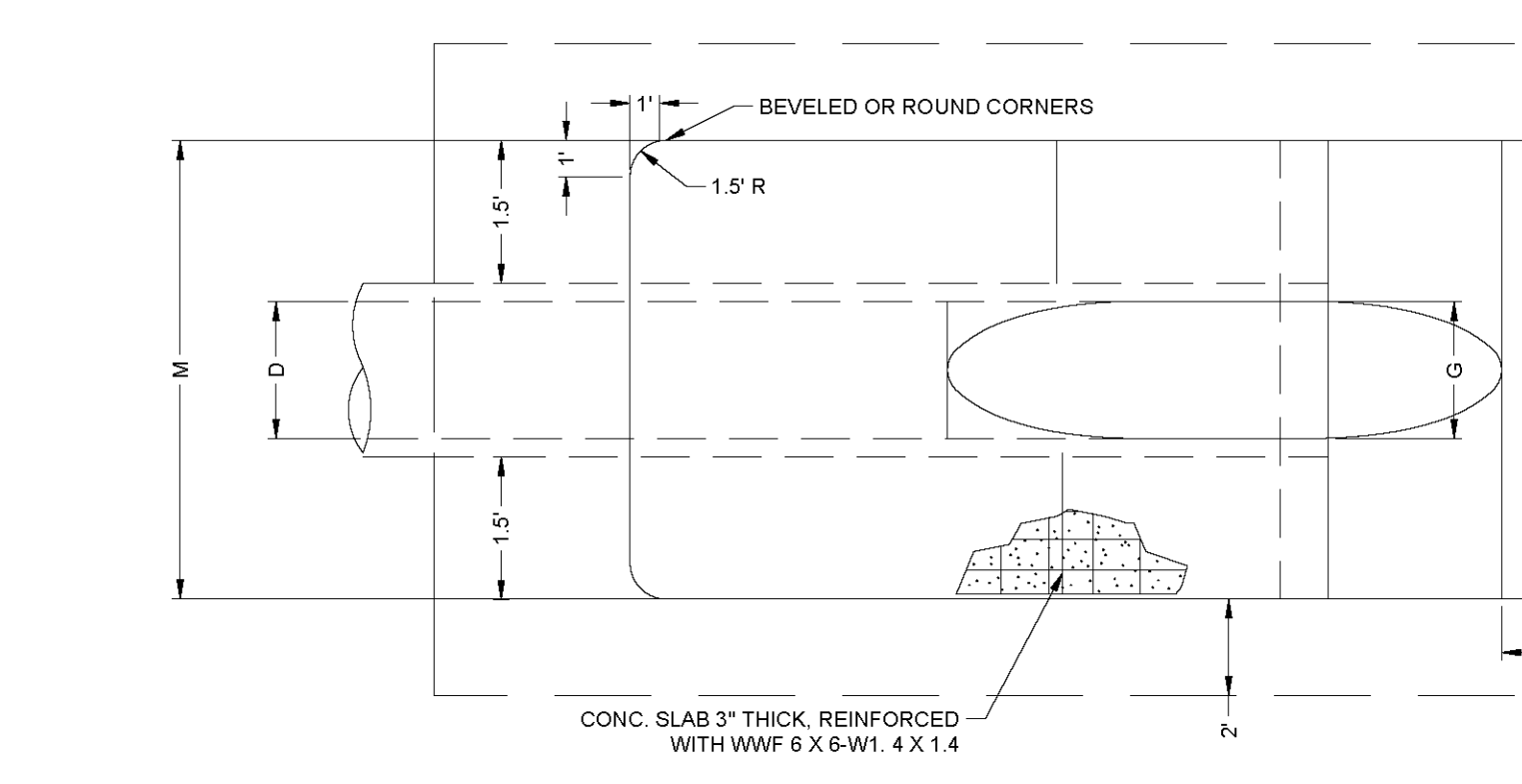
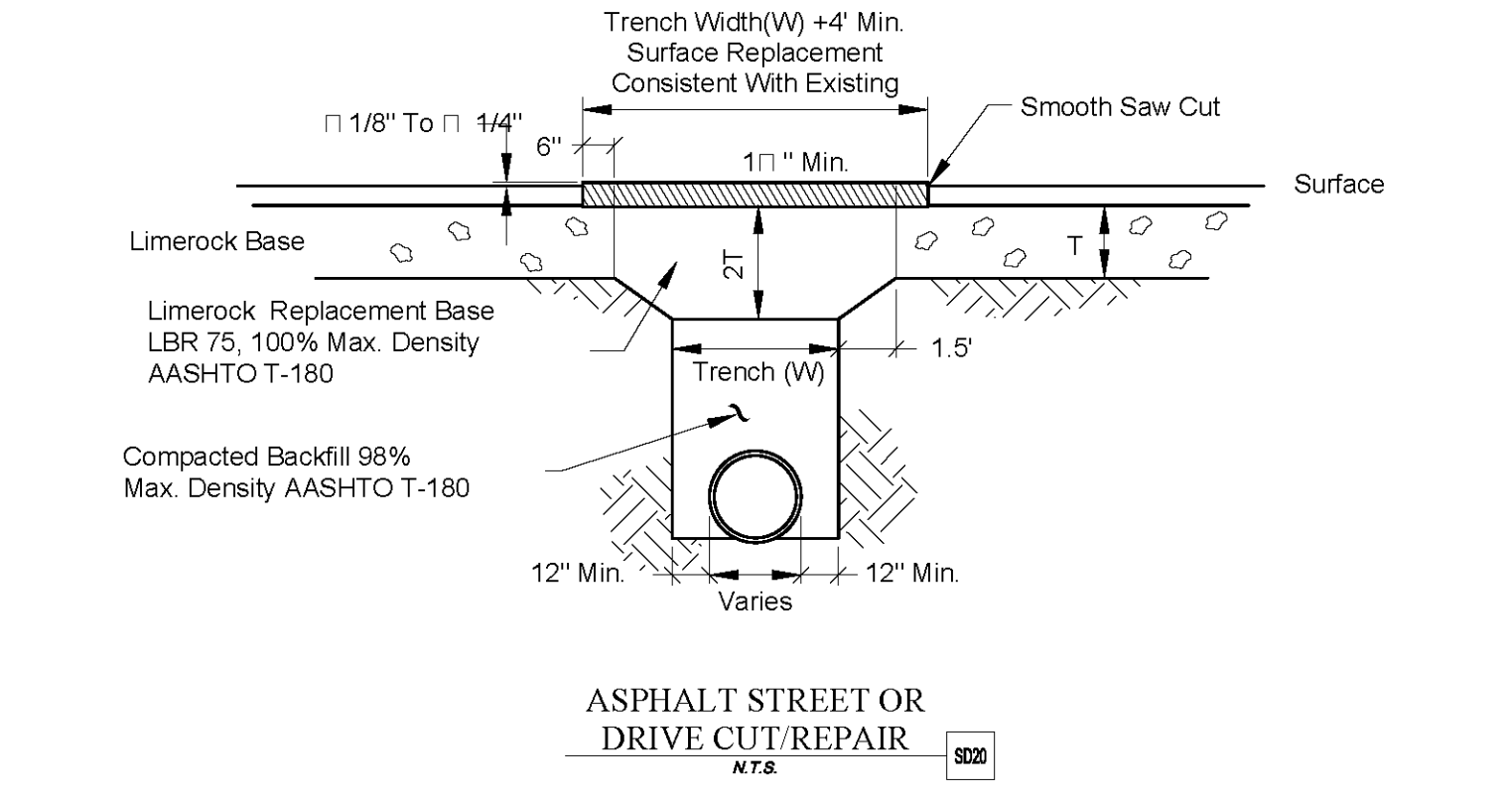
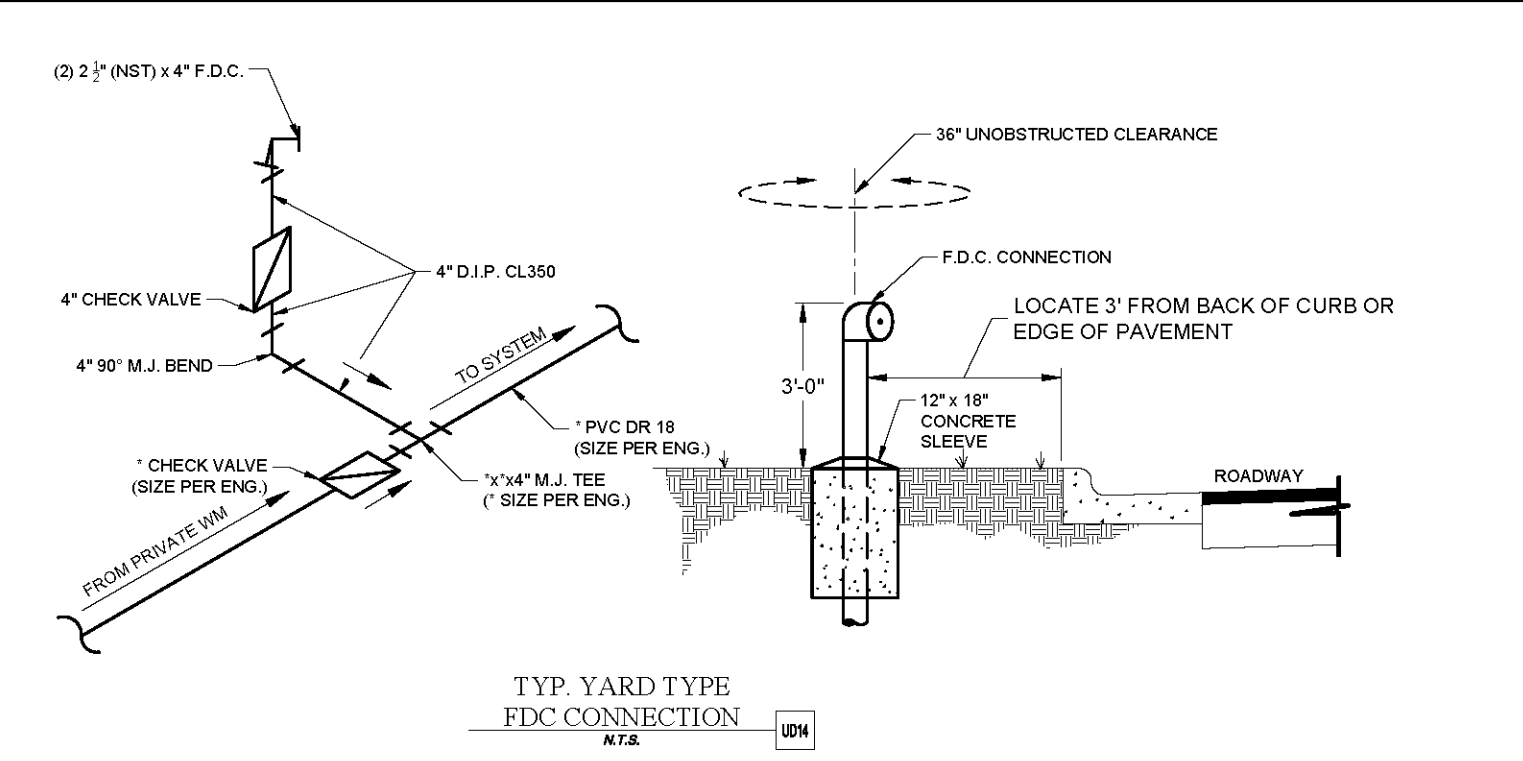
**STANDARD DRAINAGE MANHOLE (WITH ECCENTRIC CONE)**  
N.T.S. 002



- NOTES:**
1. PRECAST IN ACCORDANCE WITH LATEST INDUSTRY STANDARDS.
  2. GROUT OR "RAM-NEK" JOINTS AS REQUIRED.
  3. CONCRETE DESIGN STRENGTH: 4,000 PSI.
  4. PIPE MUST NOT BE IN CONSTRUCTION JOINT.
  5. TYPE II CEMENT TO BE USED.
  6. PIPES SHALL BE FLUSH WITH INSIDE WALL.
  7. SEE FDOT INDEX 201 FOR REINFORCEMENT BAR SCHEDULE.

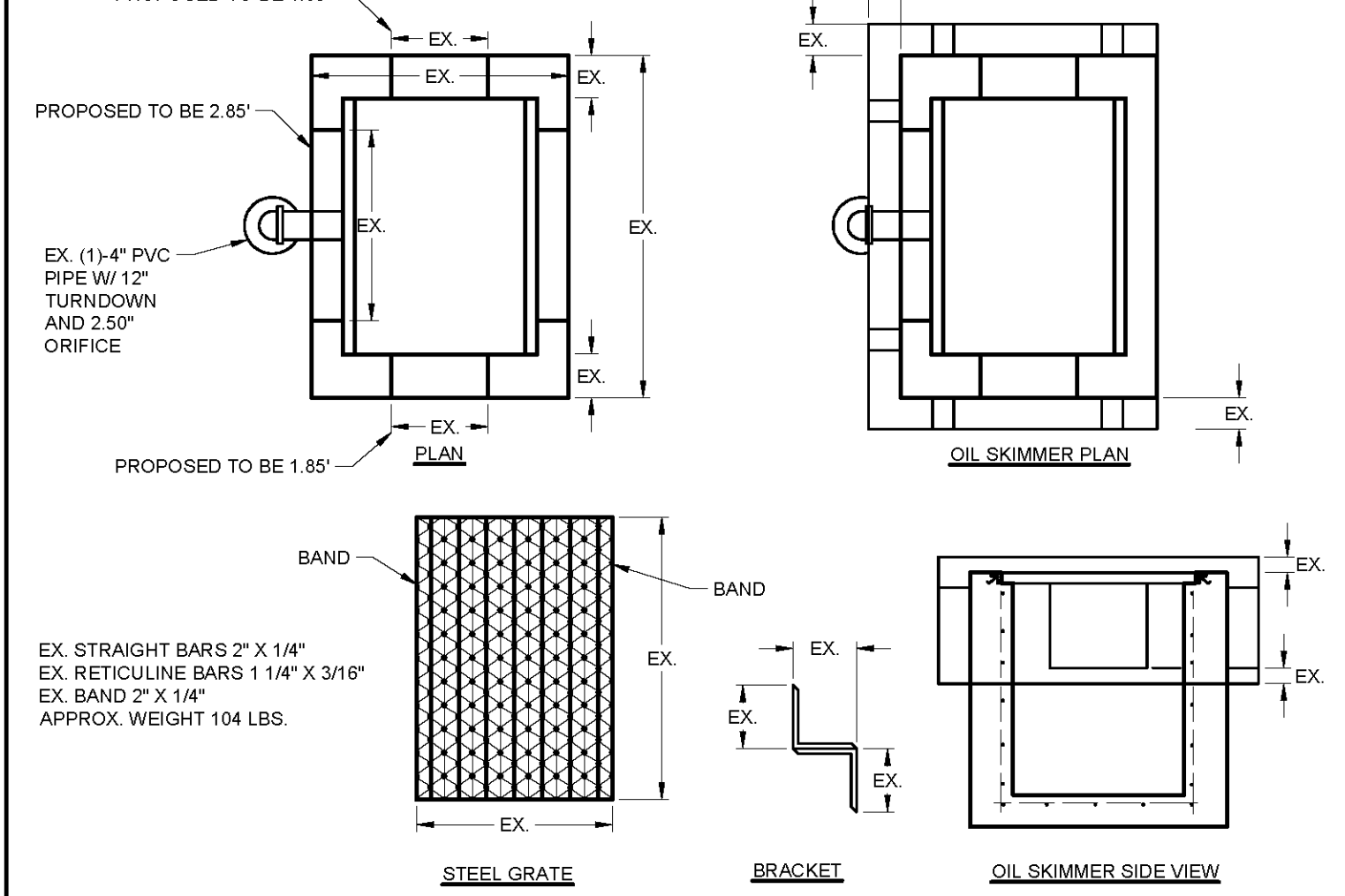
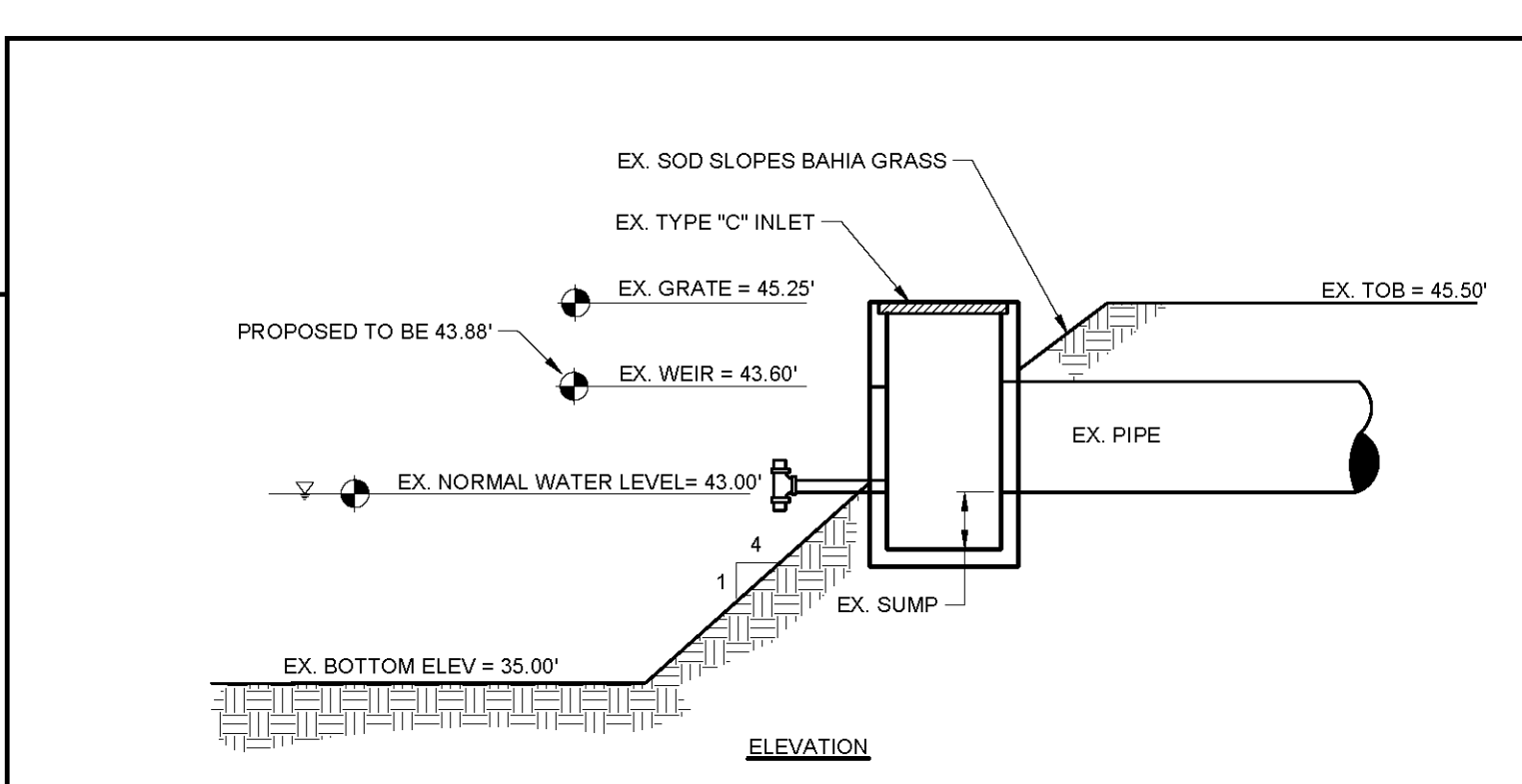
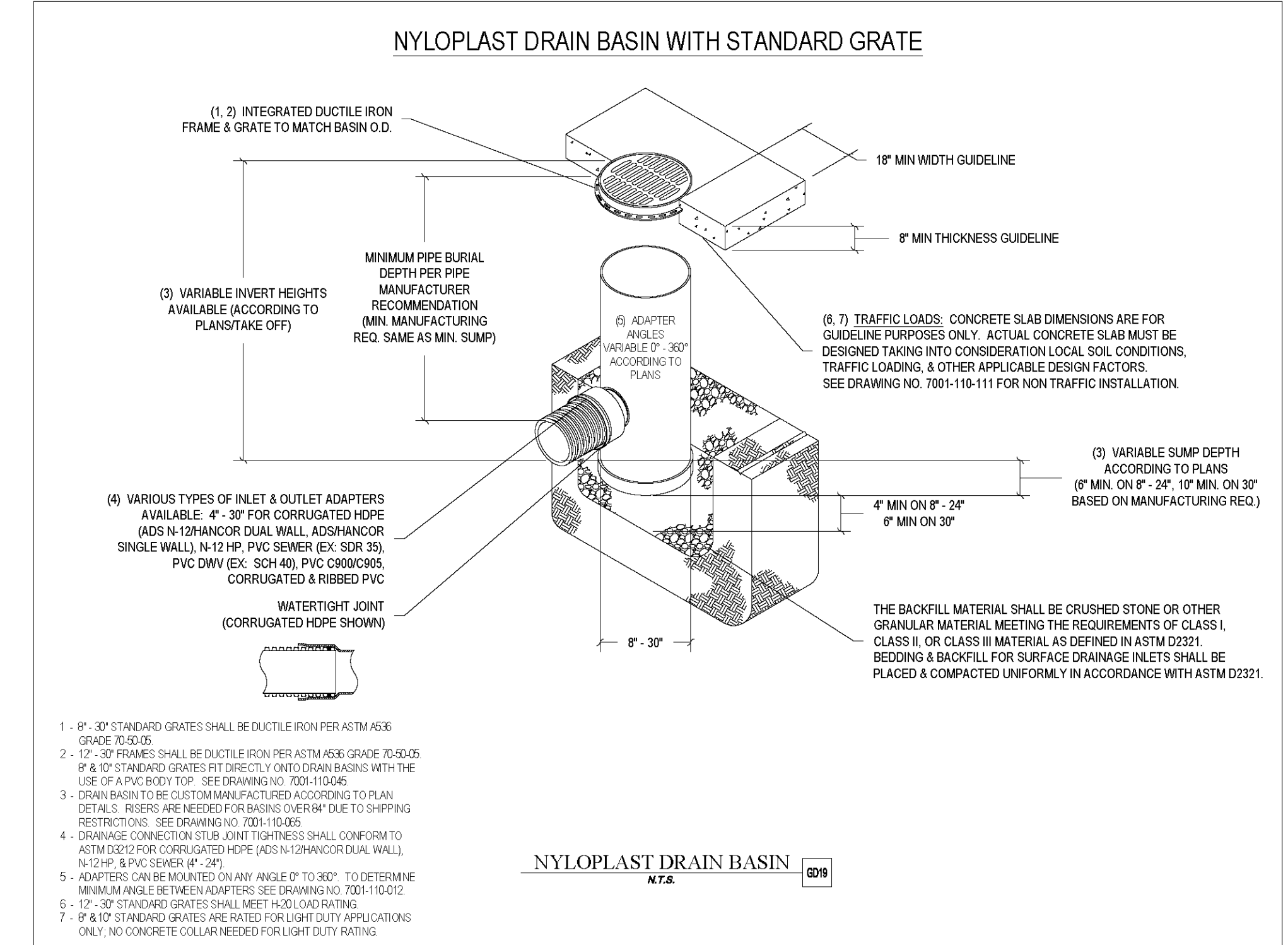
RECOMMENDED MAXIMUM PIPE SIZE:  
 2'-0" WALL-18" PIPE  
 3'-1" WALL-24" PIPE

**PRECAST TYPE "C" INLET**  
N.T.S. 002



D	A	B	C	E	F	G	M	N	X	CONC. (CY)	SOD (SY)
8"	2.5'	0.72'	3.22'	0.7'	4.0'	0.58'	3.75'	1.04'	-	52	7
15"	2.5'	3.09'	5.59'	3.0'	7.0'	1.23'	4.33'	1.04'	-	64	8
18"	2.5'	4.12'	6.62'	4.0'	8.0'	1.41'	4.59'	1.04'	-	69	9
24"	2.5'	6.18'	8.68'	6.0'	10.0'	1.73'	5.08'	1.04'	-	83	10
30"	2.5'	8.25'	10.75'	8.0'	12.0'	2.00'	5.58'	1.04'	-	96	11
36"	2.5'	10.31'	12.81'	10.0'	14.0'	2.24'	6.08'	1.04'	-	108	12

**MITERED END SECTION**  
N.T.S. 001



- NOTES:**
1. MODIFY CONTROL STRUCTURE BY SAWCUTTING THE EAST AND WEST WEIR FROM AN EXISTING WIDTH OF 1.40' TO A PROPOSED WIDTH OF 1.85'. SAWCUT NORTH WEIR FROM AN EXISTING WIDTH OF 2.5' TO A PROPOSED WIDTH OF 2.85'. BRICK UP ALL WEIRS FROM AN EXISTING INVERT OF 43.60' TO A PROPOSED INVERT OF 43.88'.

**TYPICAL POND SECTION WITH OUTFALL CONTROL STRUCTURE (CS-1)**  
N.T.S. 001

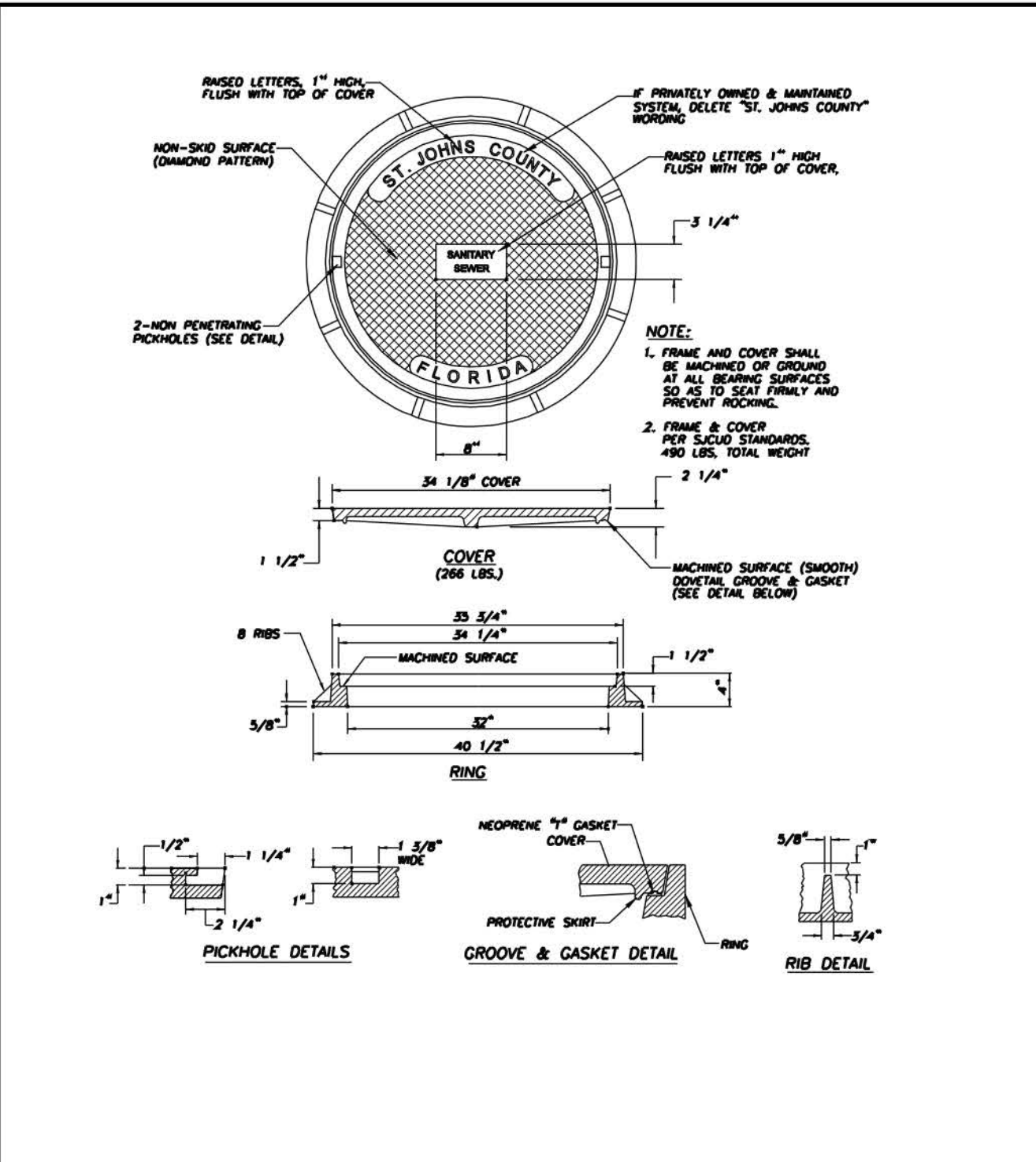
**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MDGINC.COM

**CONSTRUCTION DETAILS**  
 AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 ST. JOHNS COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.

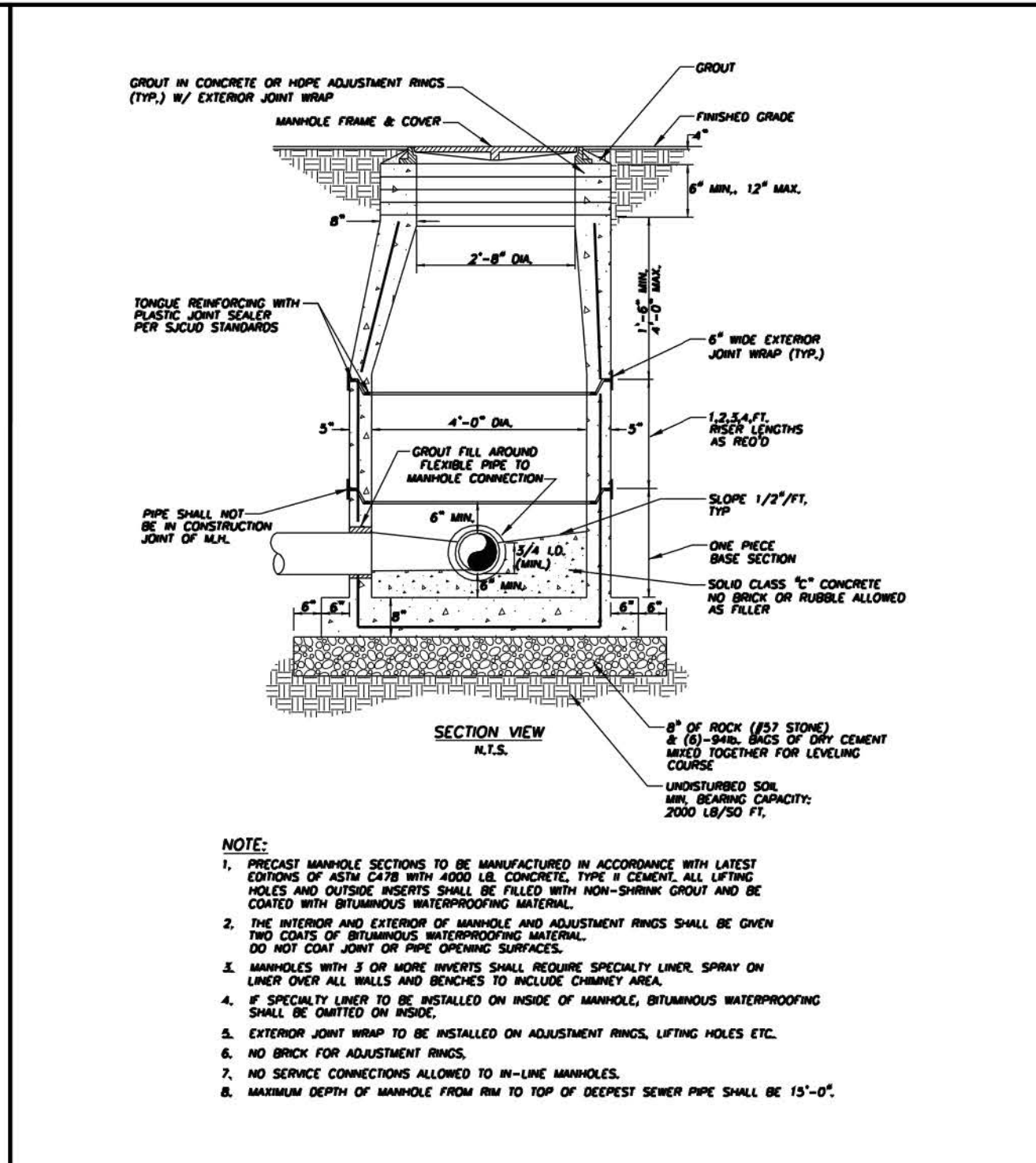
REGISTERED ENGINEER  
 JAMES MATTHEWS  
 CAPS 6533, FL 17215

SHEET NO. 12 OF 21

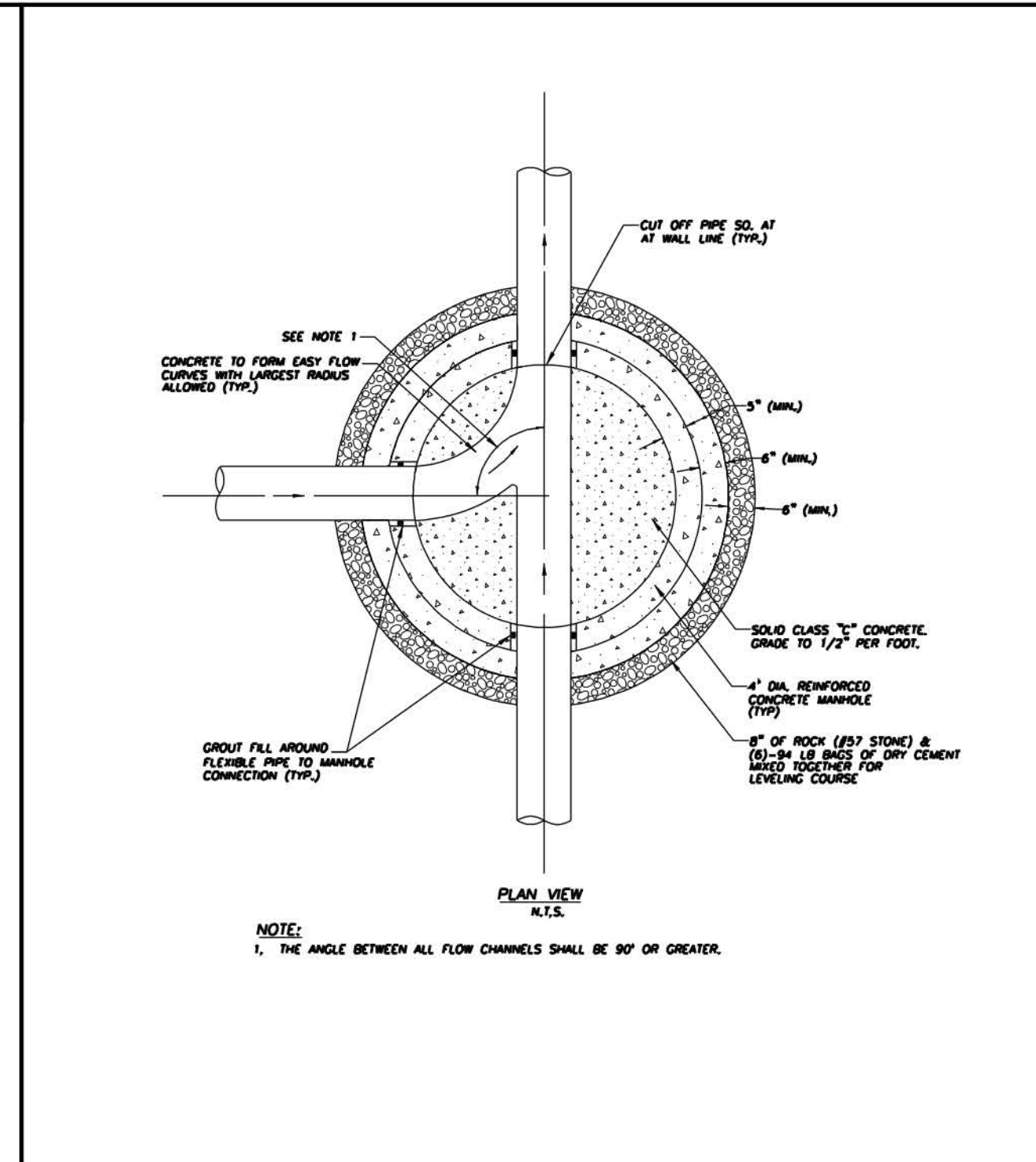




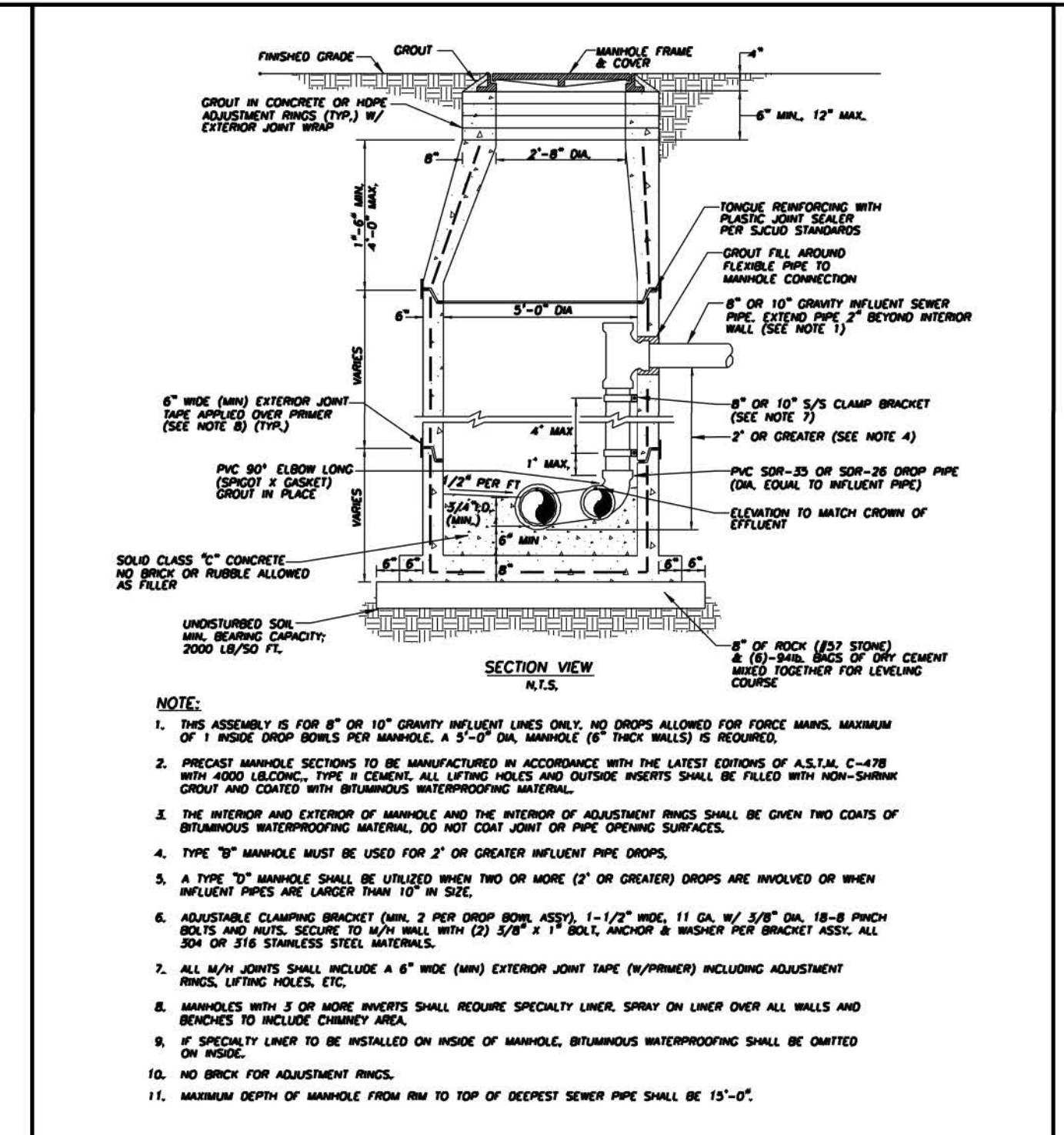
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REVISION 1	3/05	



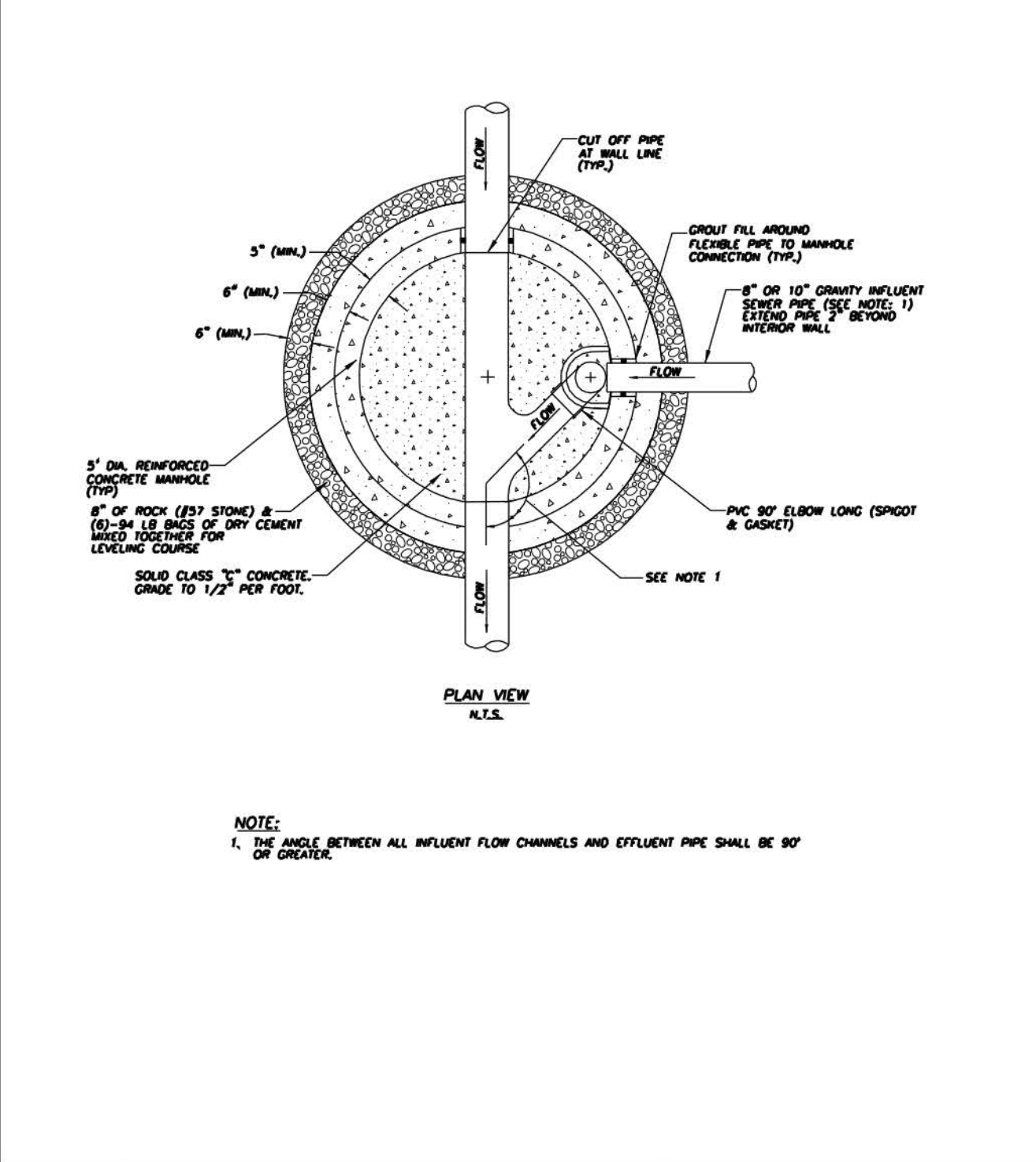
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REVISION 1	3/05	



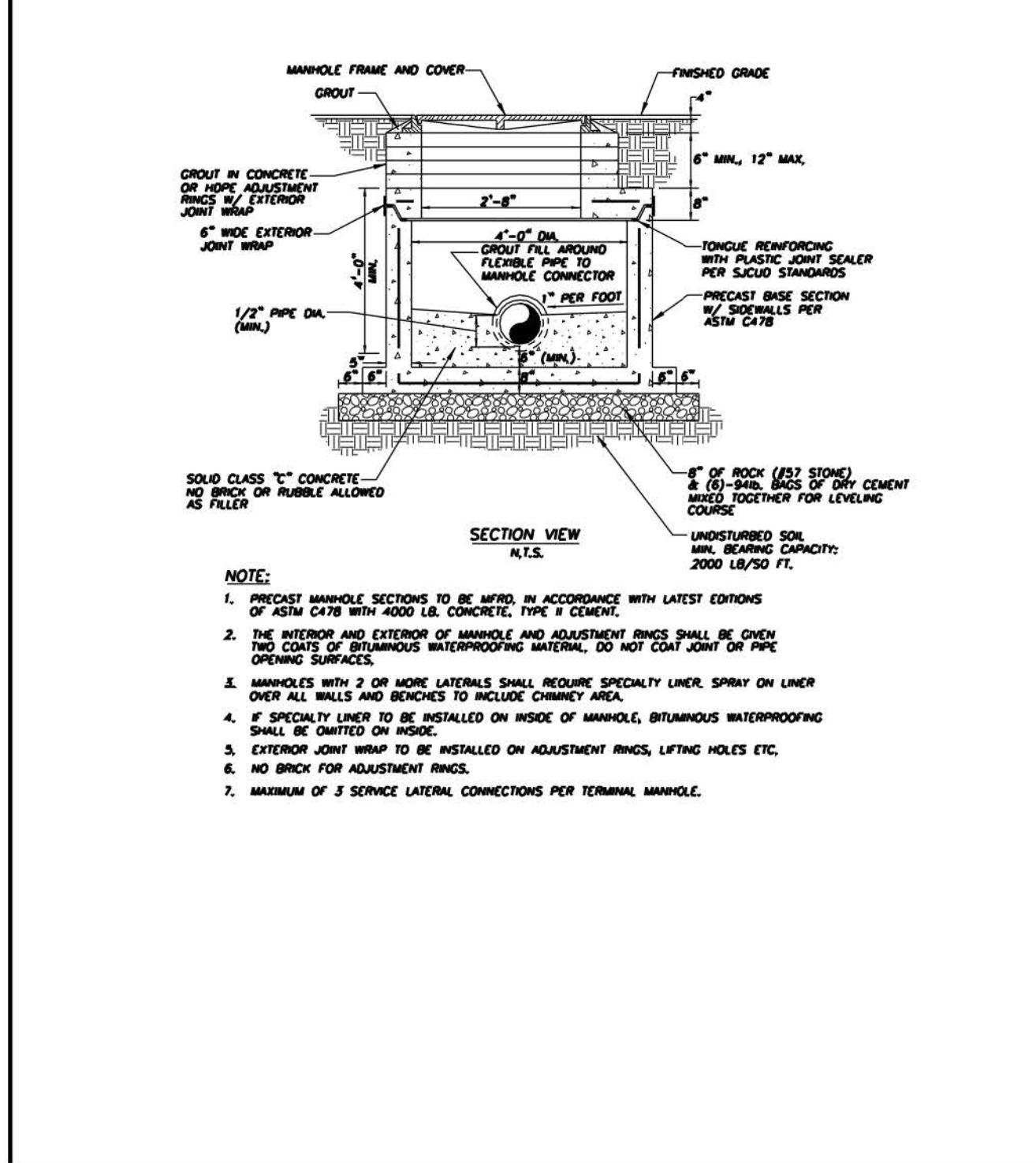
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REVISION 1	3/05	



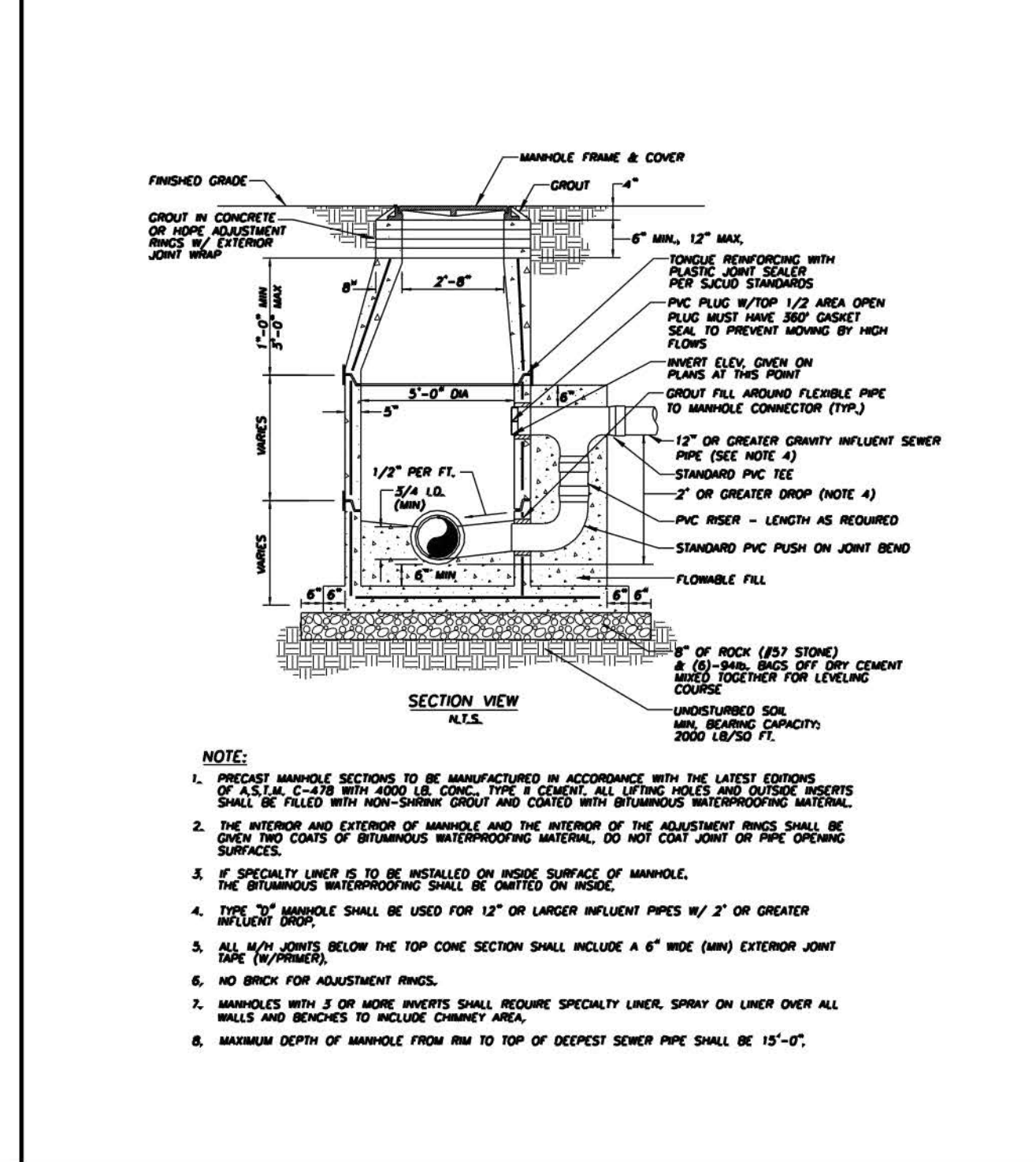
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REVISION 1	3/05	



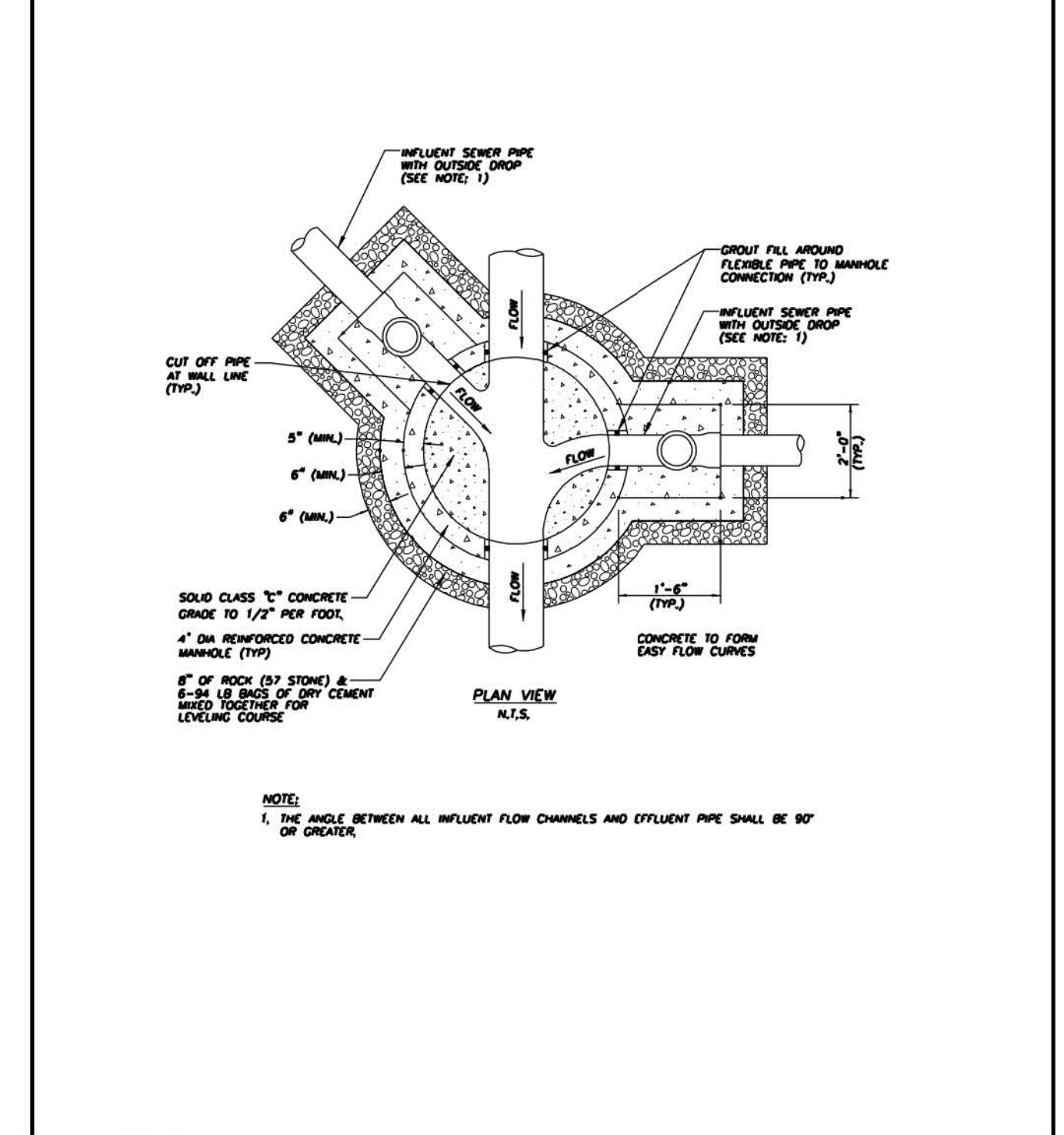
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REVISION 1	3/05	



REVISIONS	DATE	COMMENTS
REVISION 2	3/05	
REVISION 1	3/05	



REVISIONS	DATE	COMMENTS
REVISION 2	3/05	
REVISION 1	3/05	



REVISIONS	DATE	COMMENTS
REVISION 2	3/05	
REVISION 1	3/05	

NO.	BY	DATE	SYMBOL	REVISIONS
1.	ETS	2015		REVISION 2

DESIGNER:	DESIGN ENGINEER:
DRAWN BY:	FLORIDA REGISTRATION NO.:
DATE:	
CHECKED BY:	
DATE:	

**ST. JOHNS COUNTY UTILITY DEPARTMENT**  
 1800 STATE ROAD 116  
 ST. AUGUSTINE, FLORIDA 32084-0646  
 Phone (904) 209-2700 • Fax (904) 209-2702

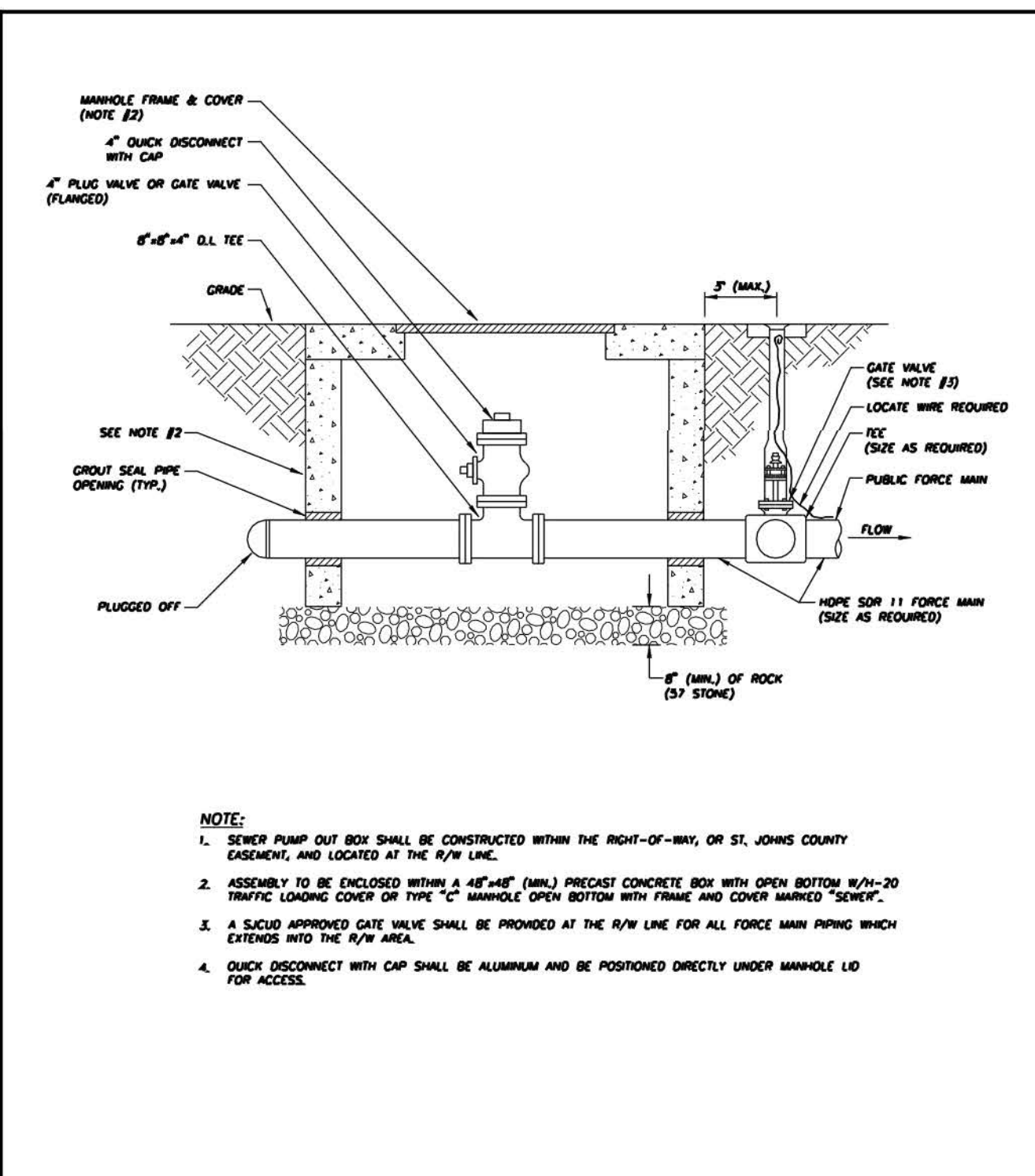
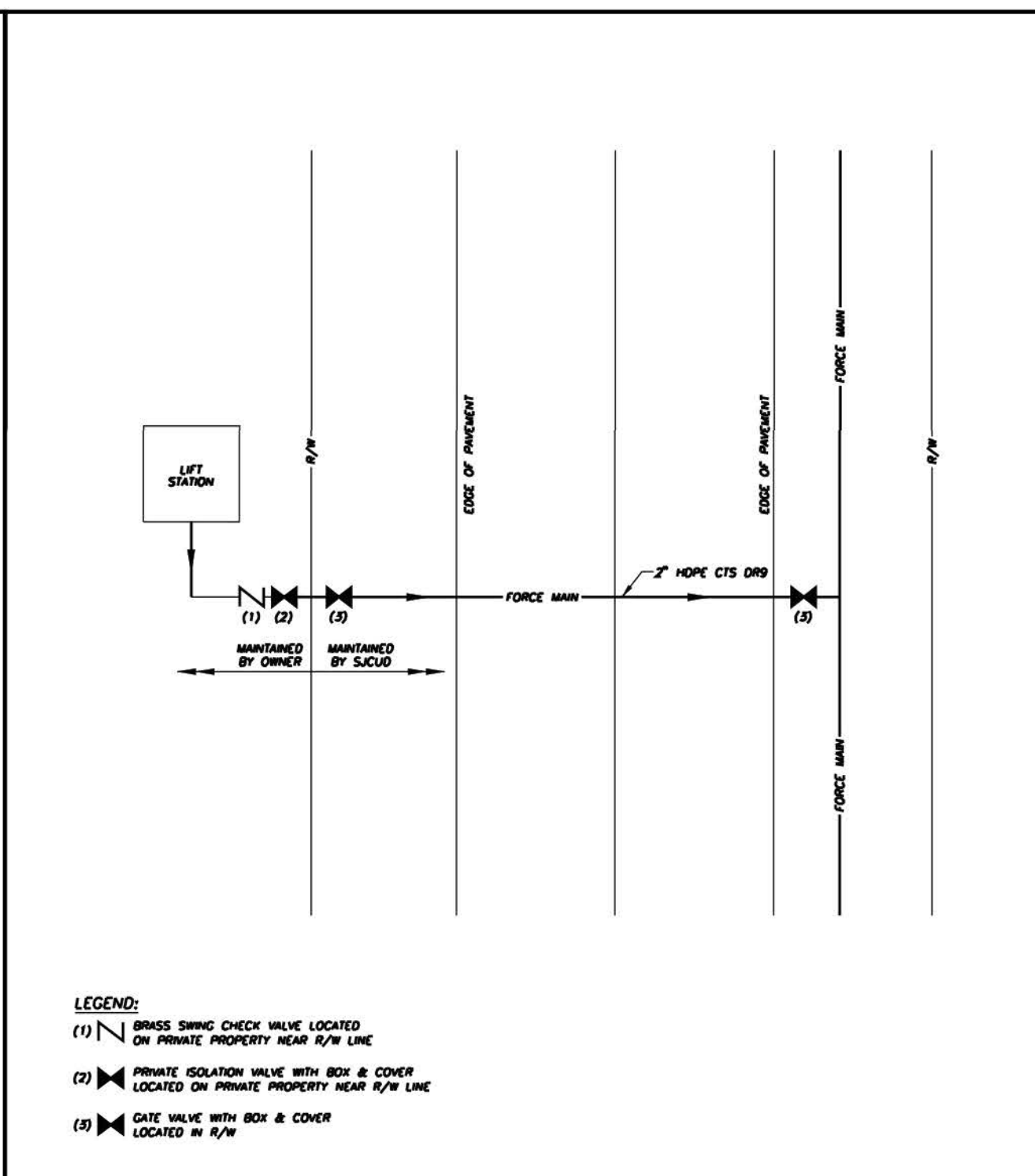
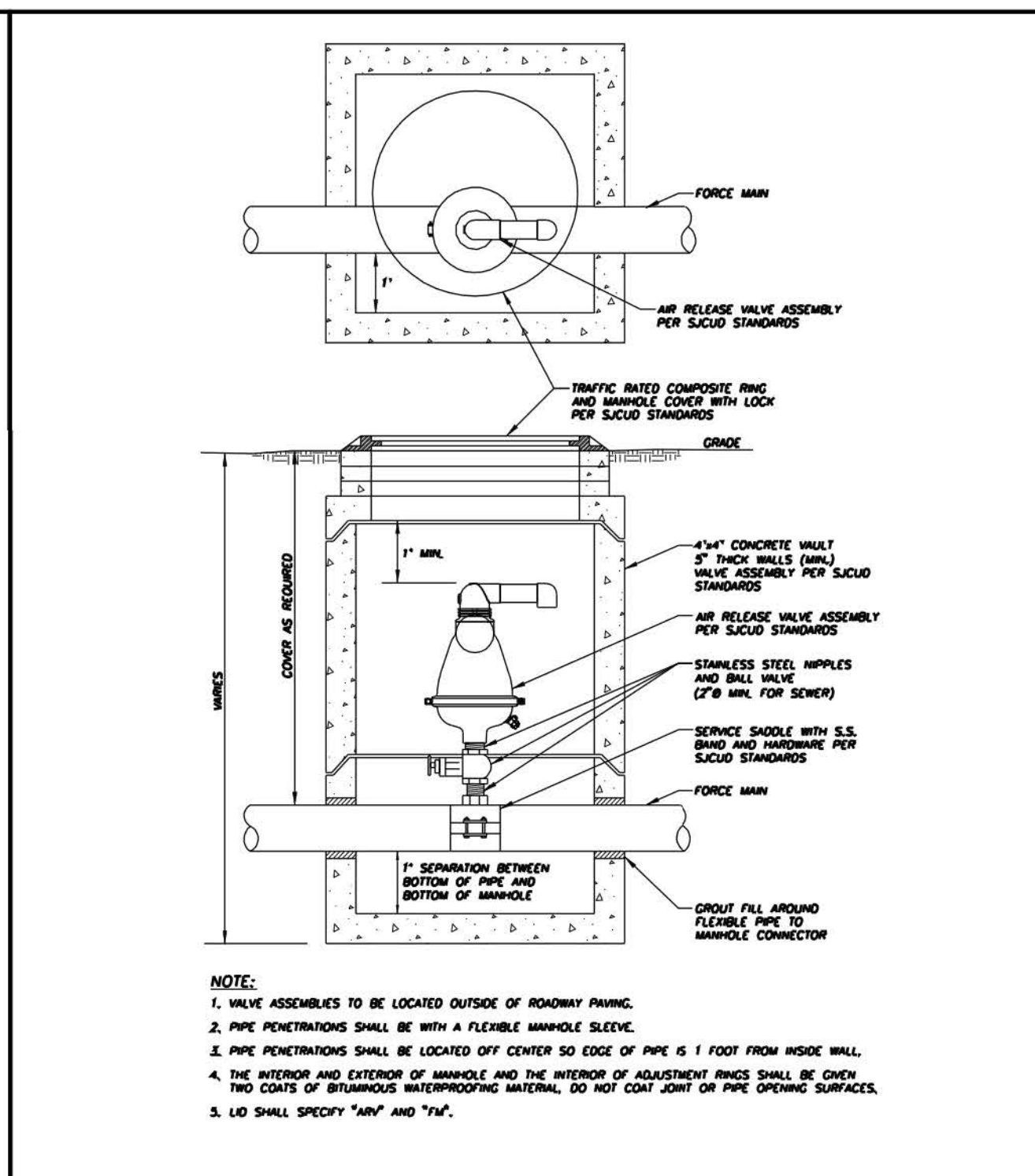
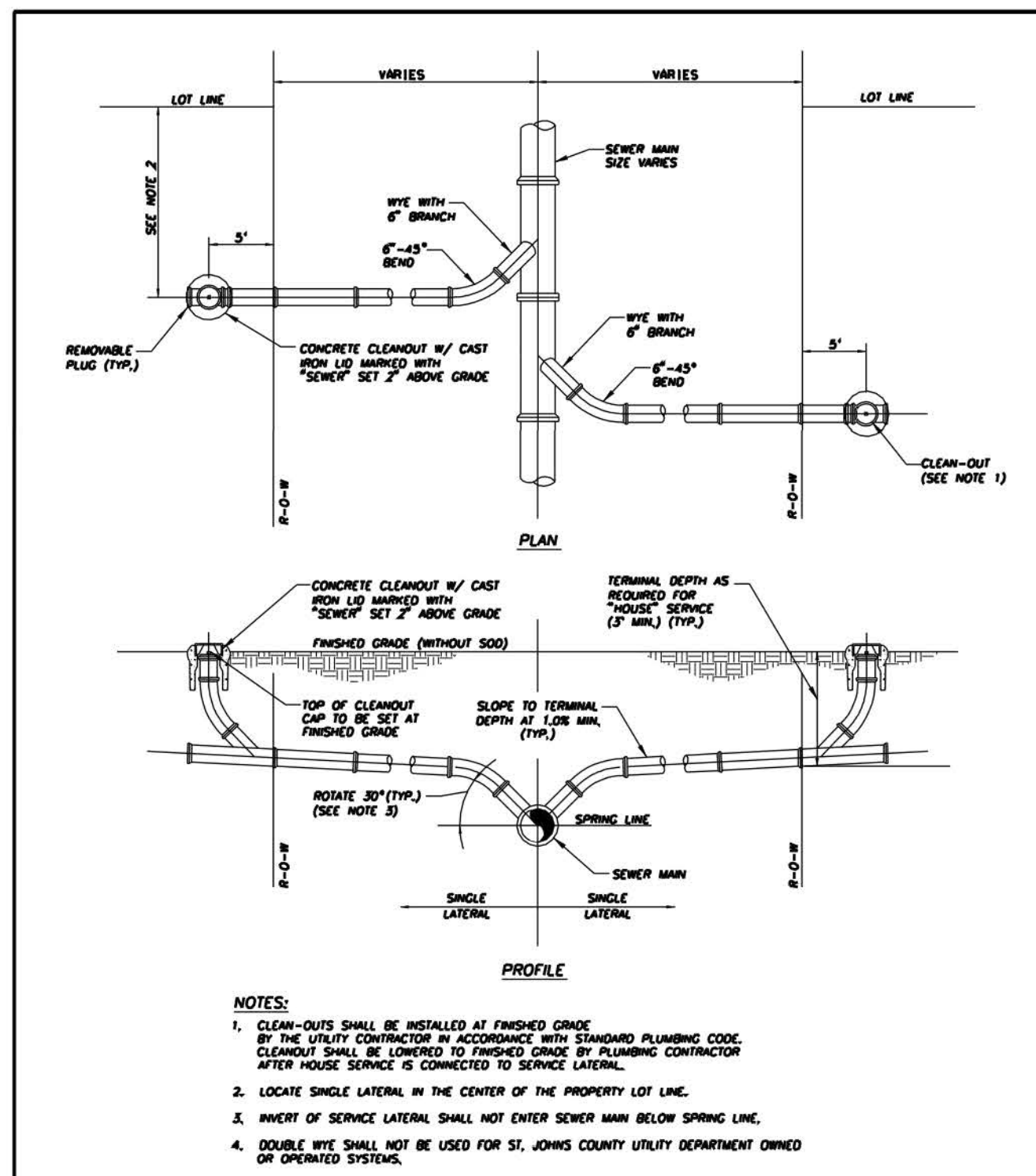
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SHEET NO.	GS-1
DRAWING NO.	GS-01.dwg

NO.	DATE	DESCRIPTION
1	6-23-23	PER SJC COMMENTS

**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MDGINC.COM

**SJCUD UTILITY DETAILS**  
 AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 ST. JOHNS COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.

SJCUD STANDARD DRAWING FOR REFERENCE 2017-07-10

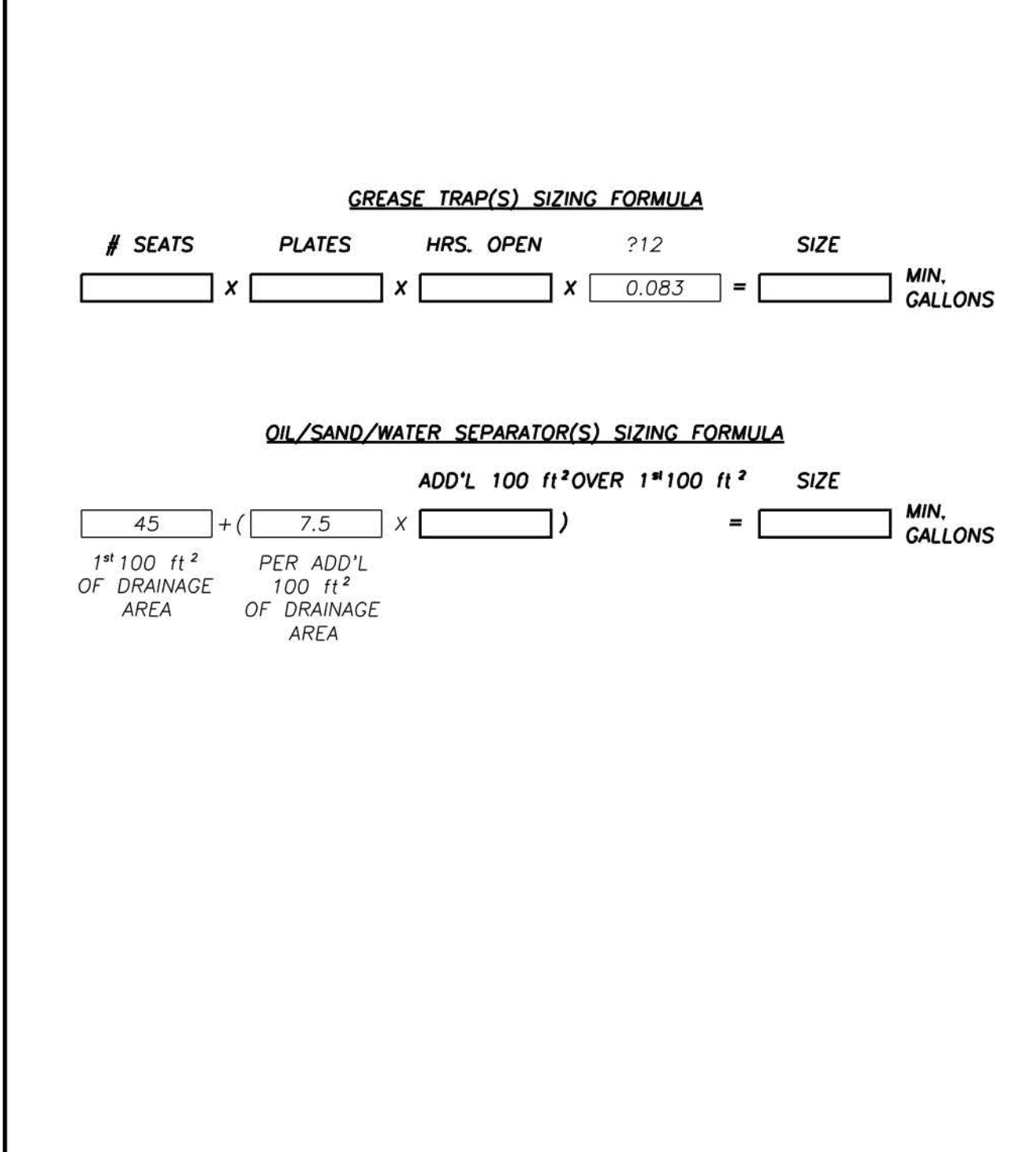
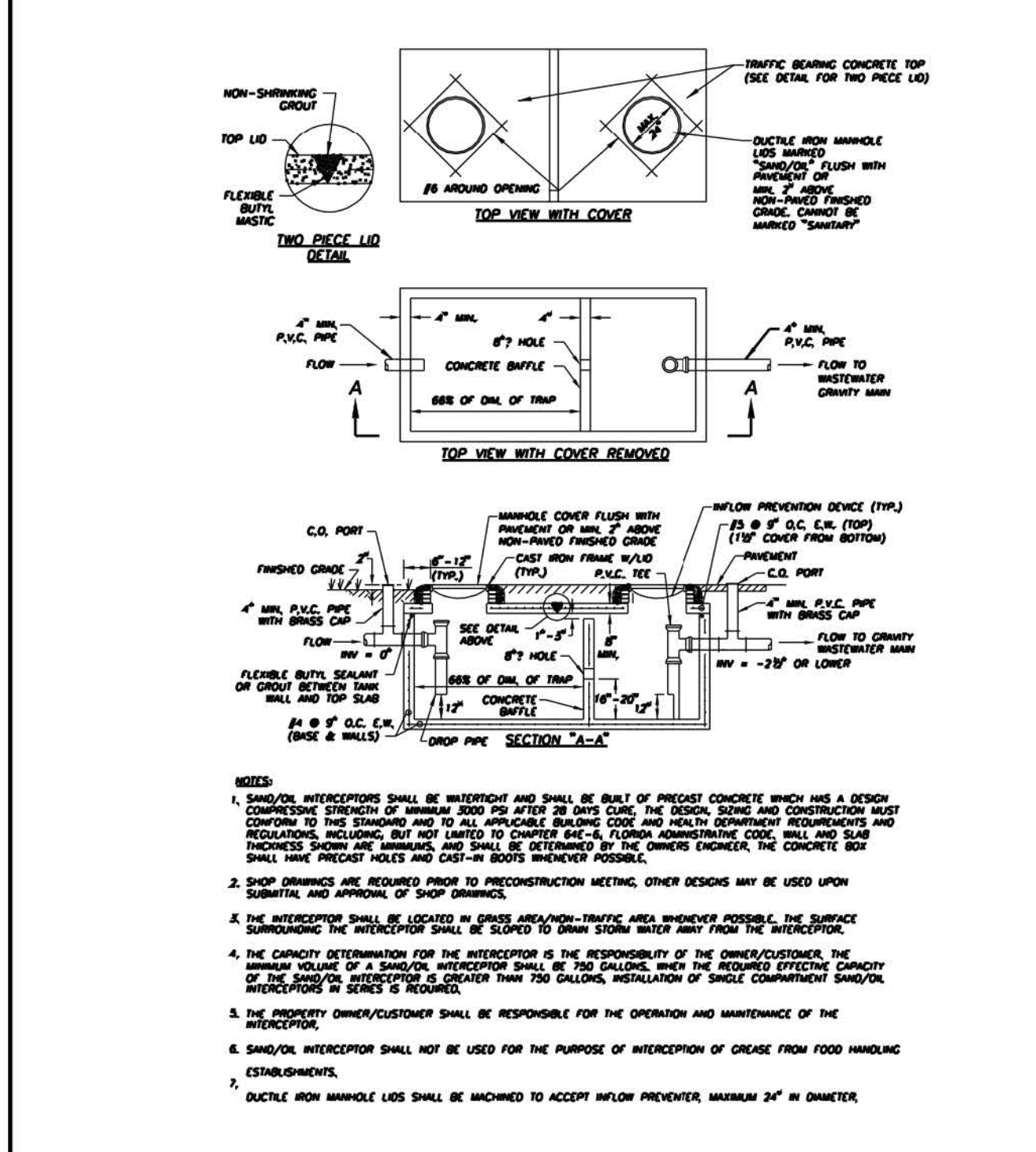
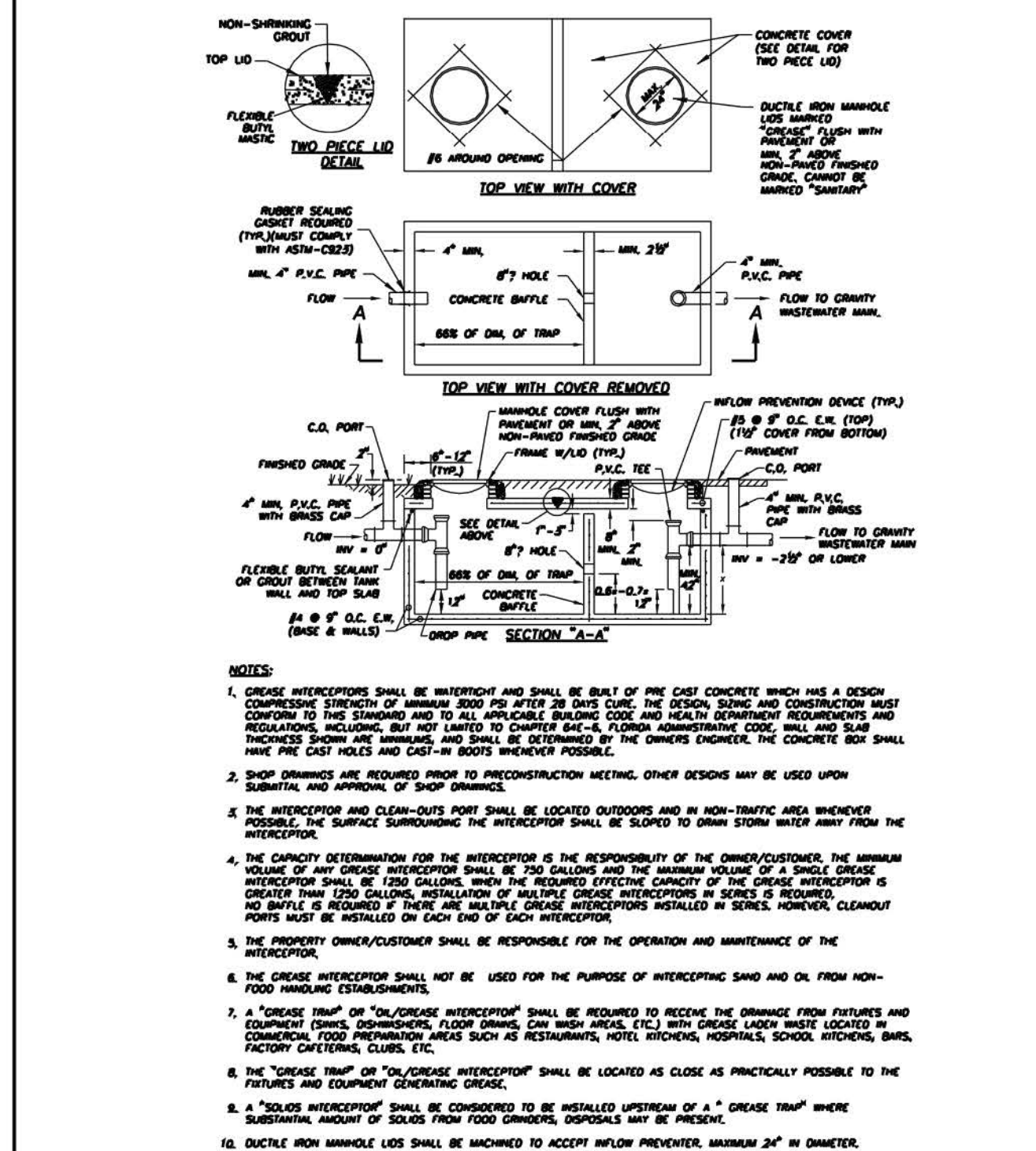


REVISIONS	DATE	COMMENTS
2017	REVISION 3	
2015	REVISION 2	
2/26	REVISION 1	

REVISIONS	DATE	COMMENTS
2017	REVISION 2	
2/26	REVISION 1	

REVISIONS	DATE	COMMENTS
2016	REVISION 2	
2015	REVISION 1	

REVISIONS	DATE	COMMENTS
2017	REVISION 2	
2/26	REVISION 1	



REVISIONS	DATE	COMMENTS
2017	REVISION 1	

REVISIONS	DATE	COMMENTS
2017	REVISION 1	

REVISIONS	DATE	COMMENTS
2017	REVISION 1	

NO.	BY	DATE	SYMBOL	REVISIONS
1.	ETS	2017		REVISION 3
1.	ETS	2015		REVISION 2

DESIGNER:	DESIGN ENGINEER
DRAWN BY:	FLORIDA REGISTRATION NO.
DATE:	
CHECKED BY:	
DATE:	

NO. SHEETS	SHEET NO.
GS-1	GS-1
DRAWING NO.	NO. SHEETS
GS-01.dwg	14

**ST. JOHNS COUNTY UTILITY DEPARTMENT**  
 1000 STATE ROAD 18  
 ST. AUGUSTINE, FLORIDA 32084  
 Phone (904) 209-2700 • Fax: (904) 209-2800

**ST. JOHNS COUNTY UTILITY DEPARTMENT**  
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 ST. AUGUSTINE, FLORIDA 32084  
 Phone (904) 209-2700 • Fax: (904) 209-2800

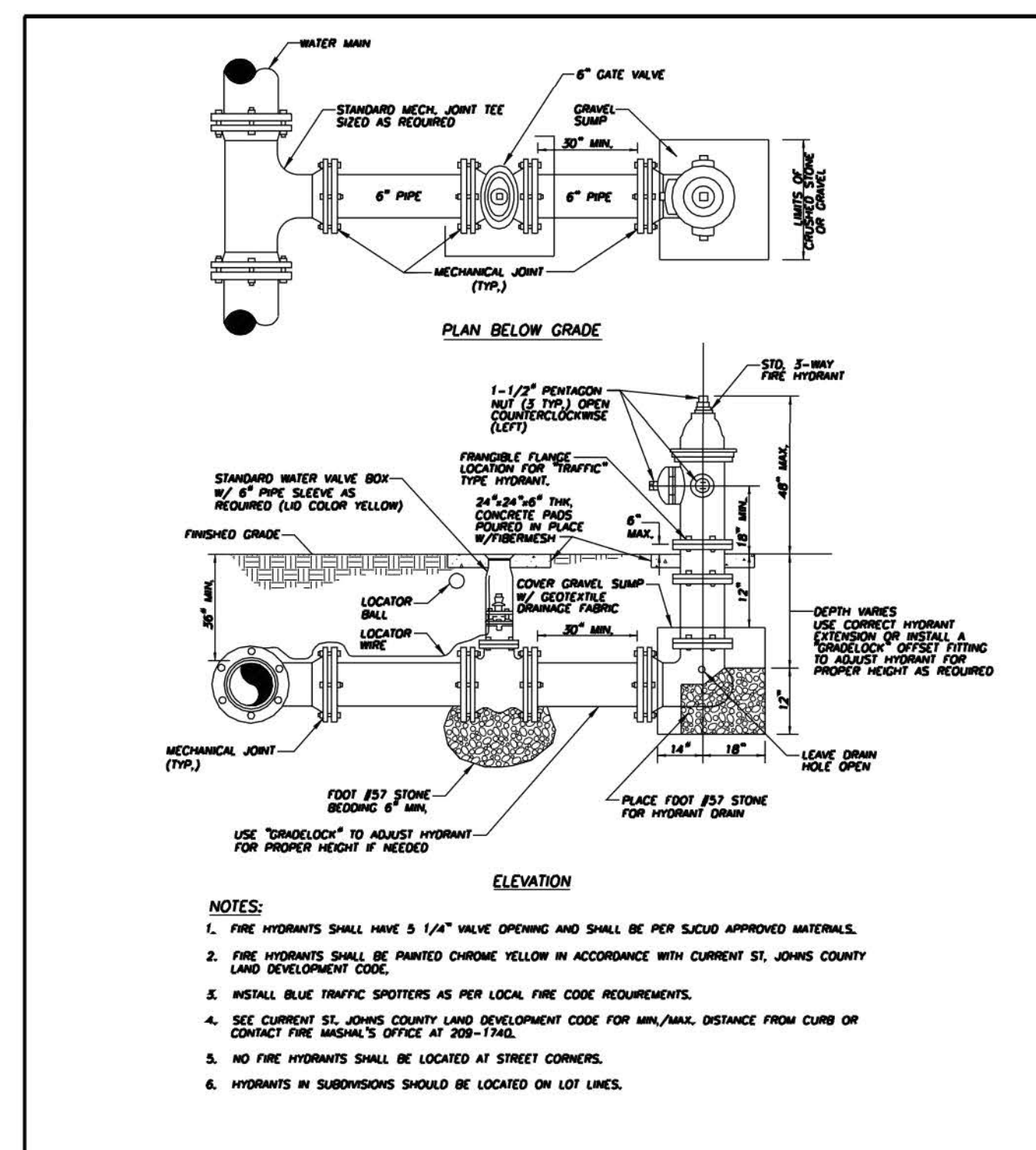
**GENERAL SANITARY SEWER DETAILS**  
 SJCUD STANDARD DRAWING FOR REFERENCE 2017-07-10

**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MDDG.COM

**SJCUD UTILITY DETAILS**  
 AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 ST. JOHNS COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.

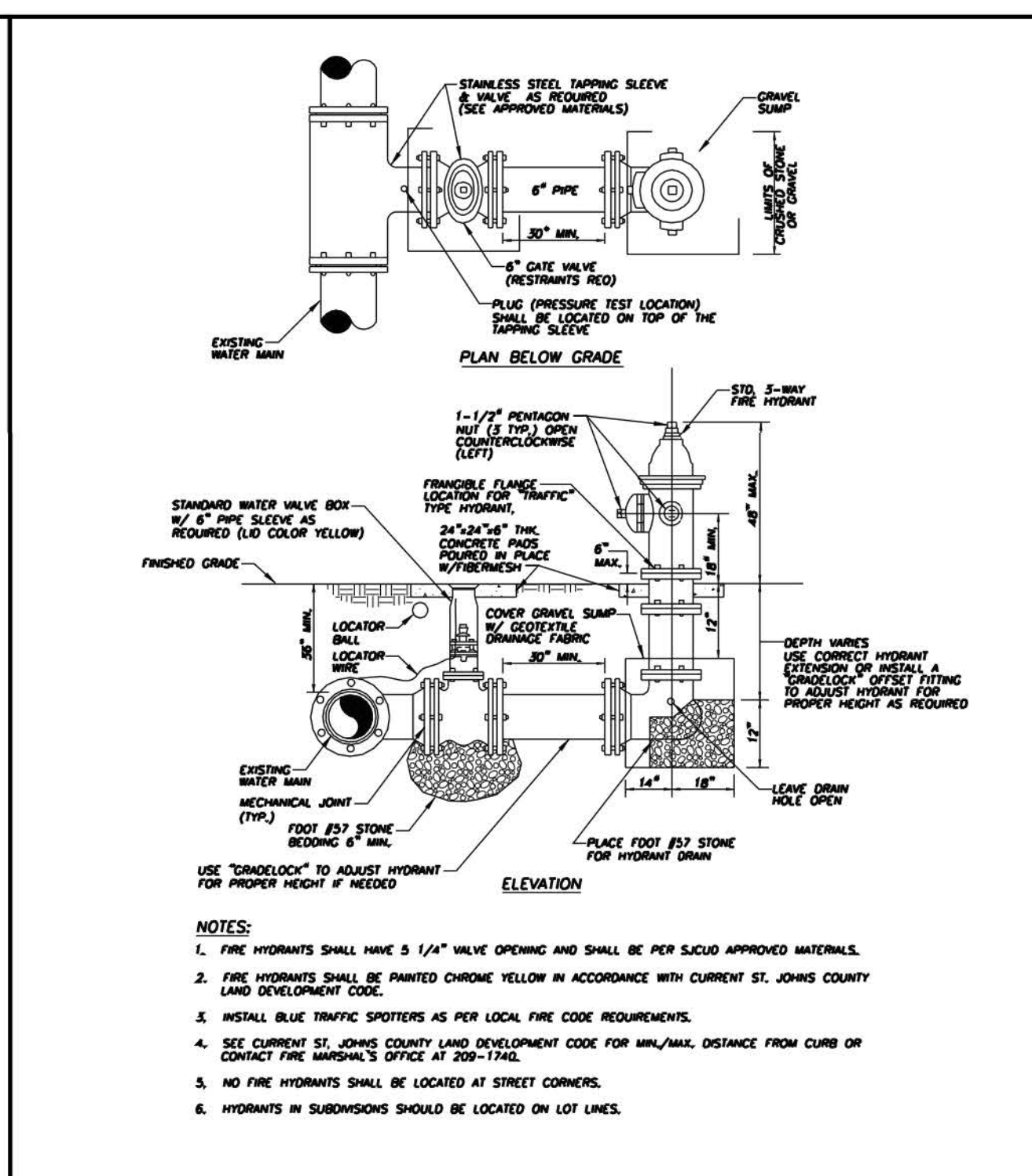
REGISTERED ENGINEER  
 E. E. MATTHEWS  
 CA8835, FL 21255

1. PROJECT: AGRICULTURAL CENTER WAREHOUSE PHASE 2, SJCUD UTILITY DETAILS. 2. DRAWING NO.: GW-01.dwg. 3. DATE: 03-24-2023. 4. SCALE: N.T.S. 5. SHEET NO.: GW-1. 6. DRAWING NO.: GW-01.dwg. 7. PROJECT LOCATION: 12005 STATE ROAD 16, ST. AUGUSTINE, FLORIDA 32084-8648. 8. CONTACT: (904) 209-2700. 9. FAX: (904) 209-2708. 10. REGISTERED ENGINEER: E. CARRISS, FL #12345. 11. COMPANY: MATTHEWS DESIGN GROUP, INC.



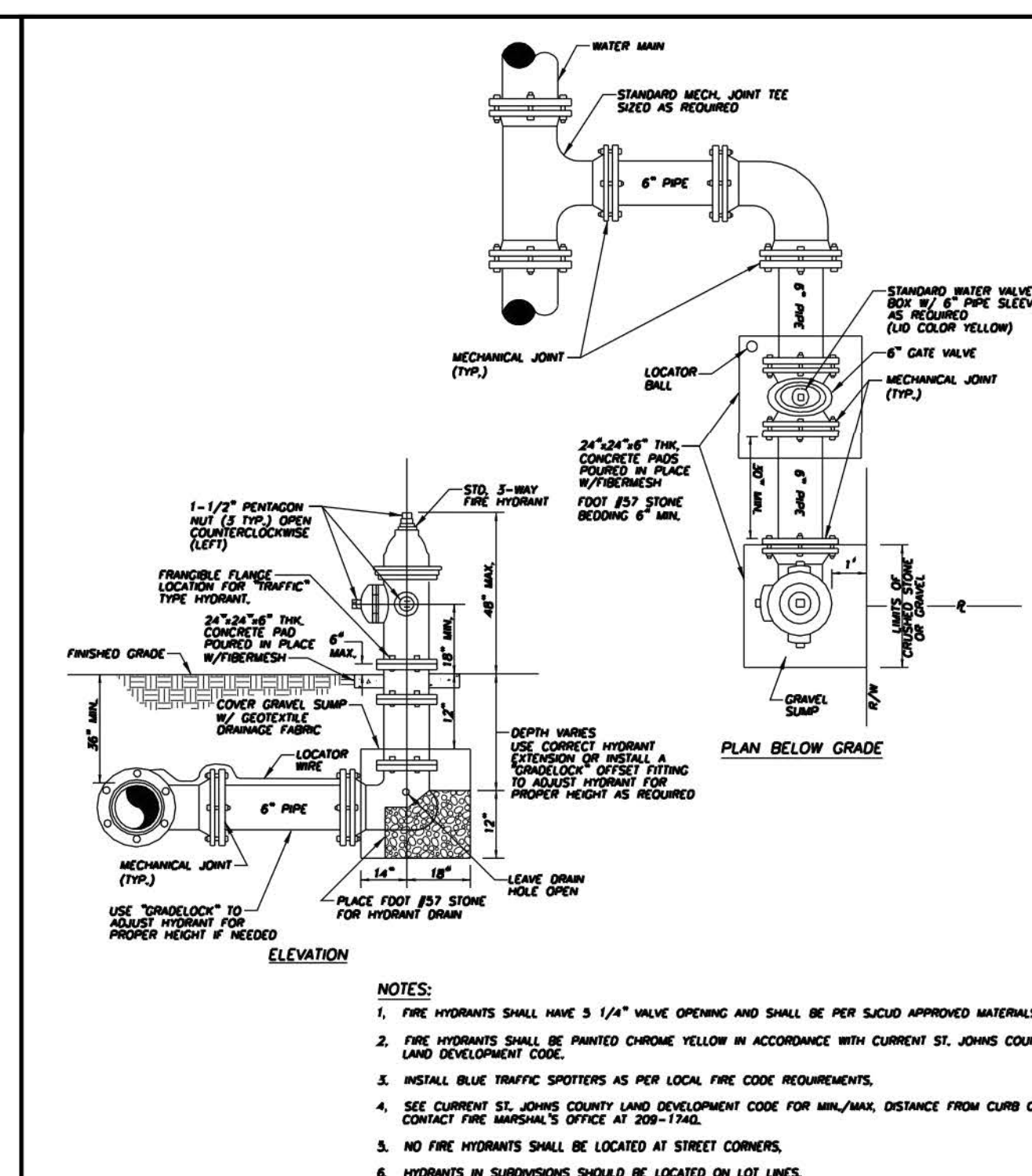
REVISIONS	DATE	COMMENTS
2015	9/26	REVISION 2
2015	9/26	REVISION 1

**FIRE HYDRANT INSTALLATION USING MECHANICAL JOINT TEE**  
SCALE: N.T.S.  
PLATE: W-1



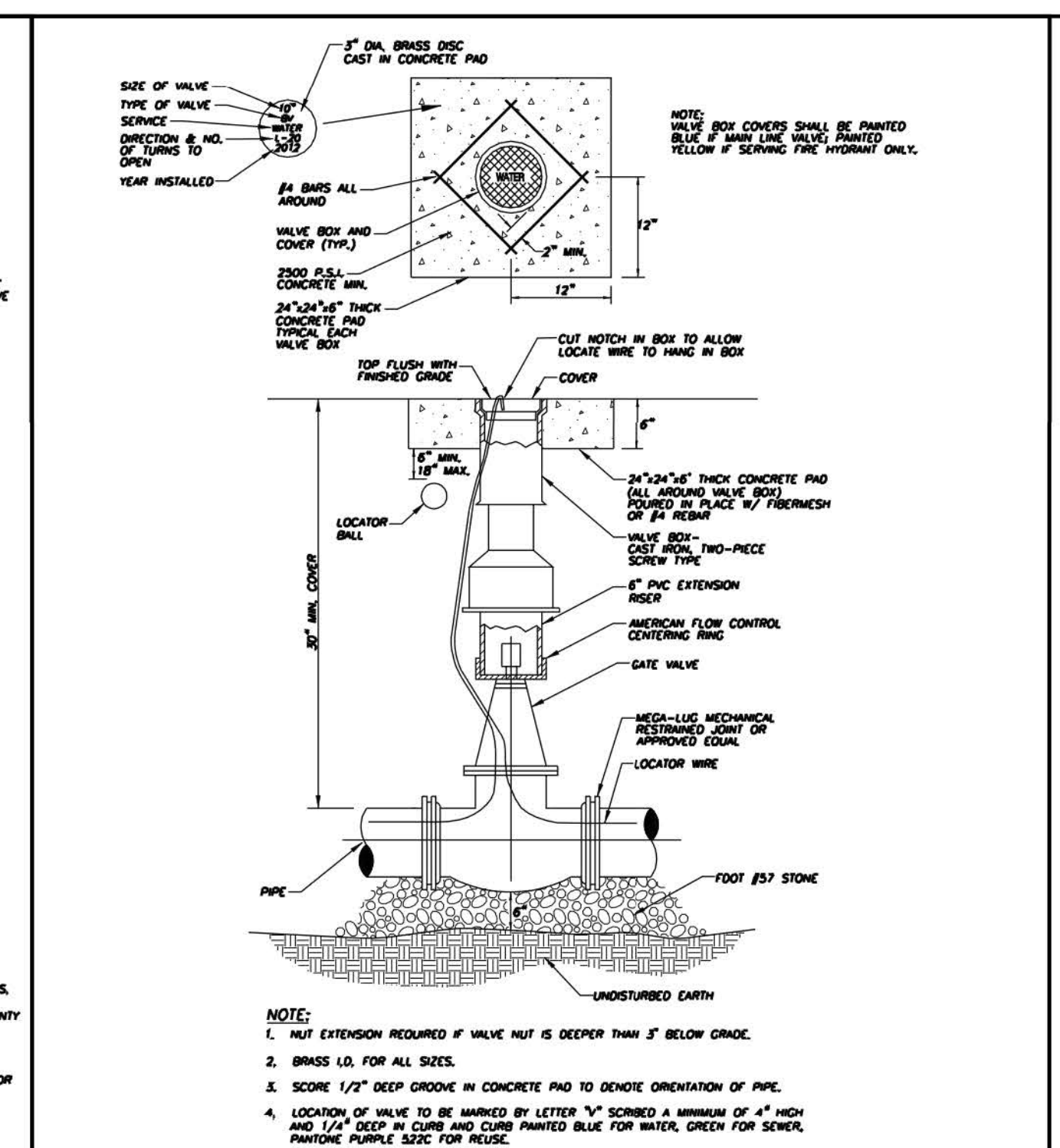
REVISIONS	DATE	COMMENTS
2015	9/26	REVISION 2
2015	9/26	REVISION 1

**FIRE HYDRANT INSTALLATION USING TAPPING SLEEVE AND VALVE**  
SCALE: N.T.S.  
PLATE: W-2



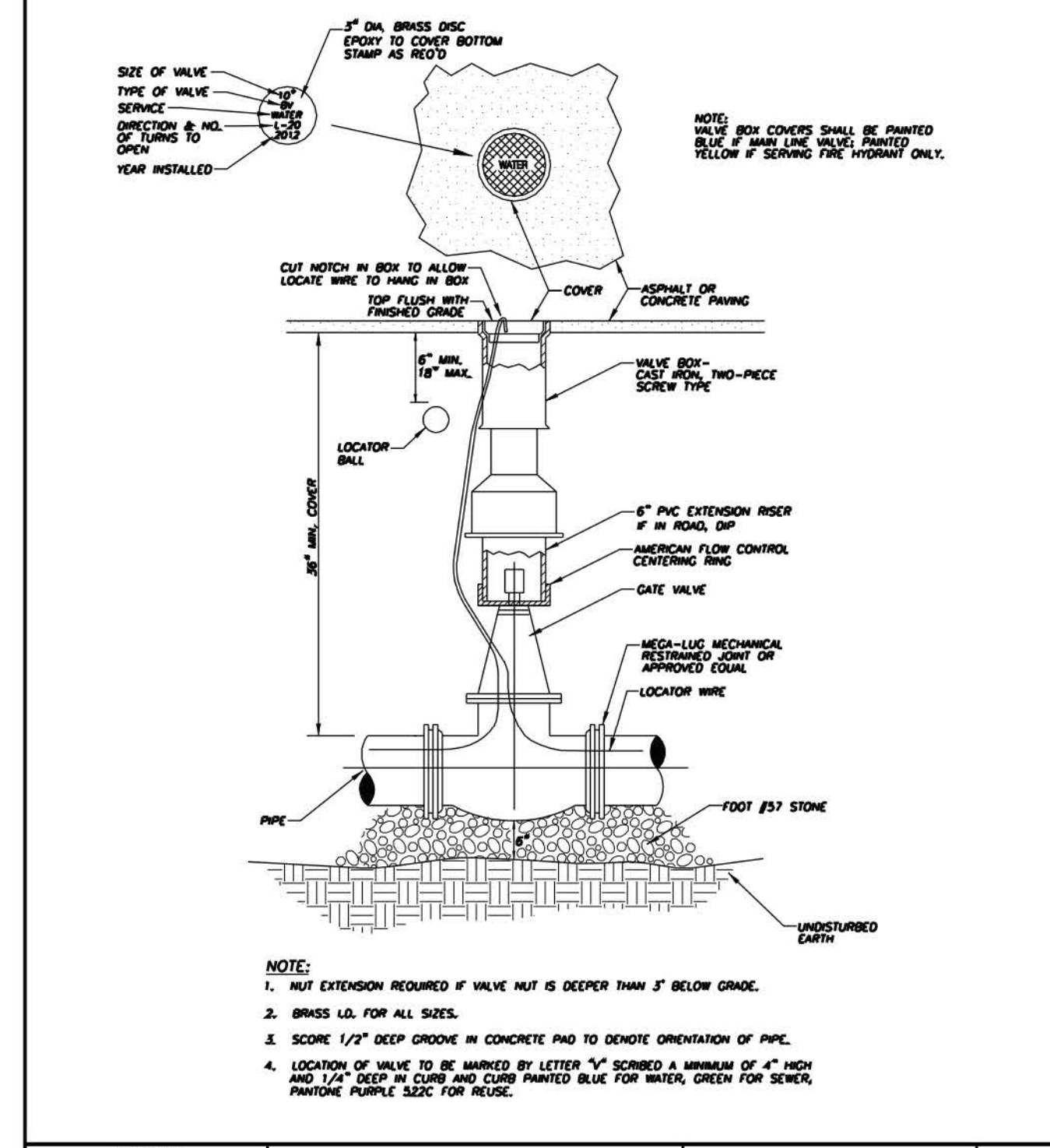
REVISIONS	DATE	COMMENTS
2015	9/26	REVISION 2
2015	9/26	REVISION 1

**LIMITED SPACE FIRE HYDRANT INSTALLATION**  
SCALE: N.T.S.  
PLATE: W-2A



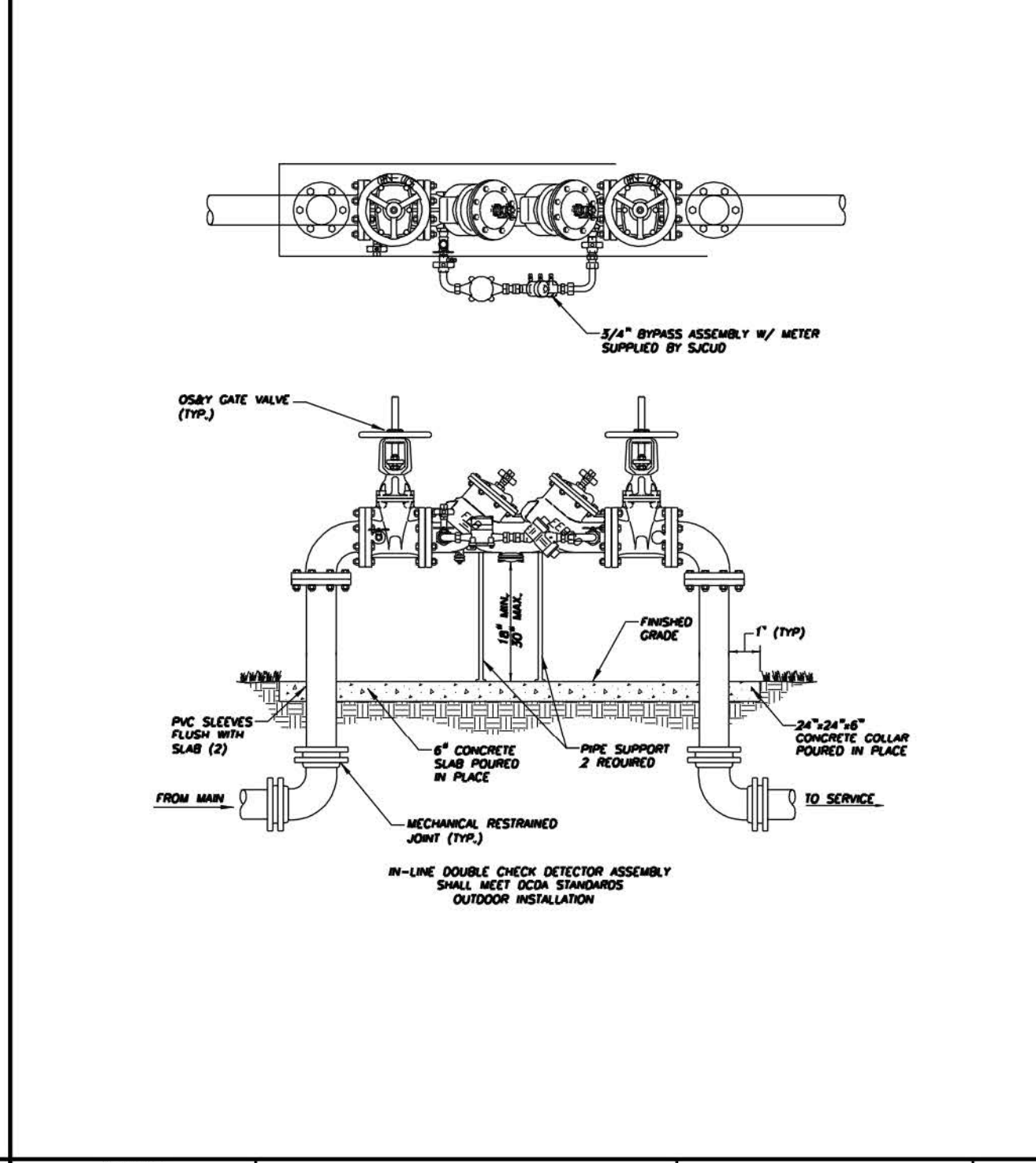
REVISIONS	DATE	COMMENTS
2015	9/26	REVISION 2
2015	9/26	REVISION 1

**GATE VALVE & BOX FOR UNPAVED LOCATIONS 4"-16"**  
SCALE: N.T.S.  
PLATE: W-3



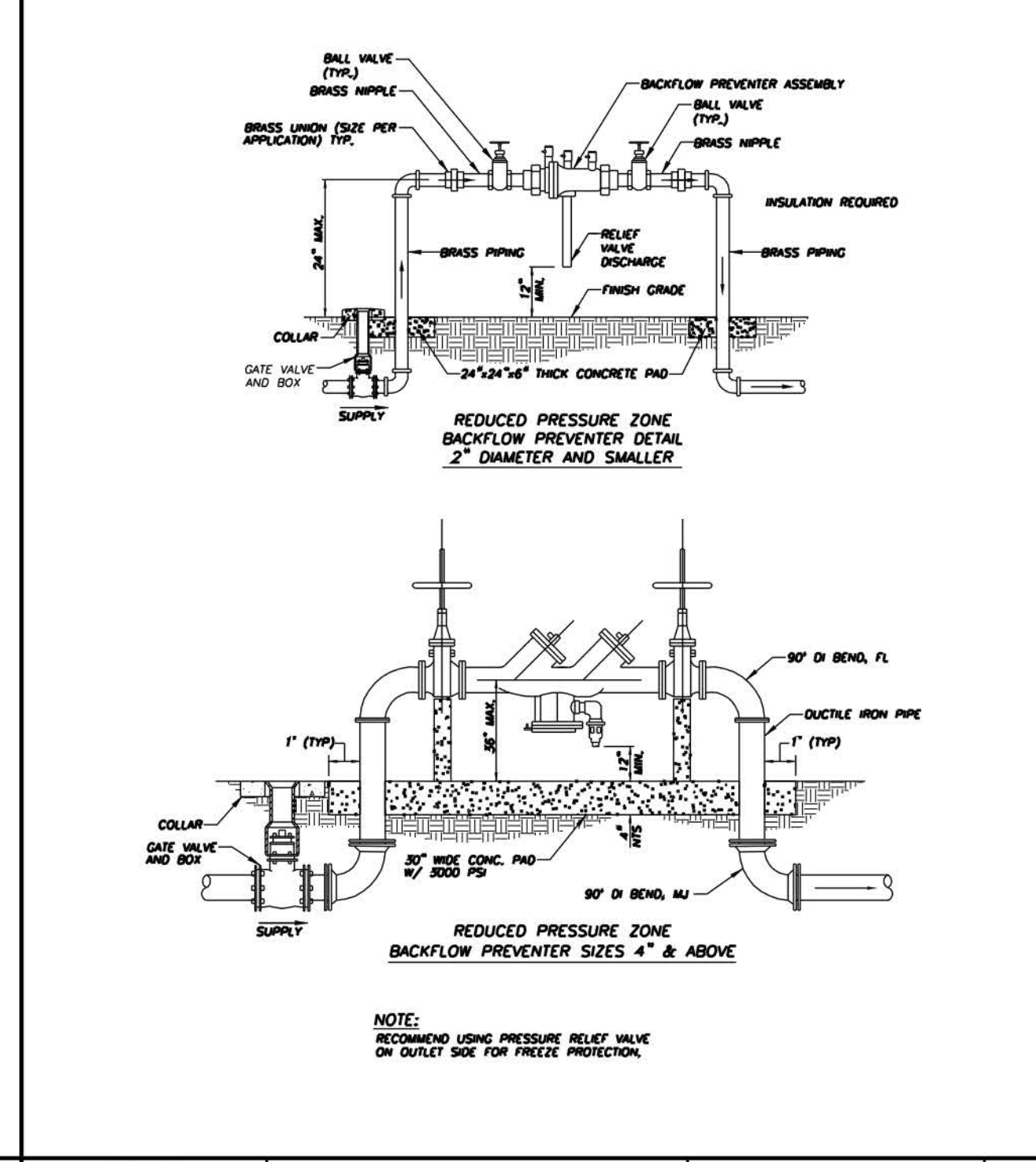
REVISIONS	DATE	COMMENTS
2015	9/26	REVISION 2
2015	9/26	REVISION 1

**GATE VALVE & BOX FOR PAVED LOCATIONS 4"-16"**  
SCALE: N.T.S.  
PLATE: W-4



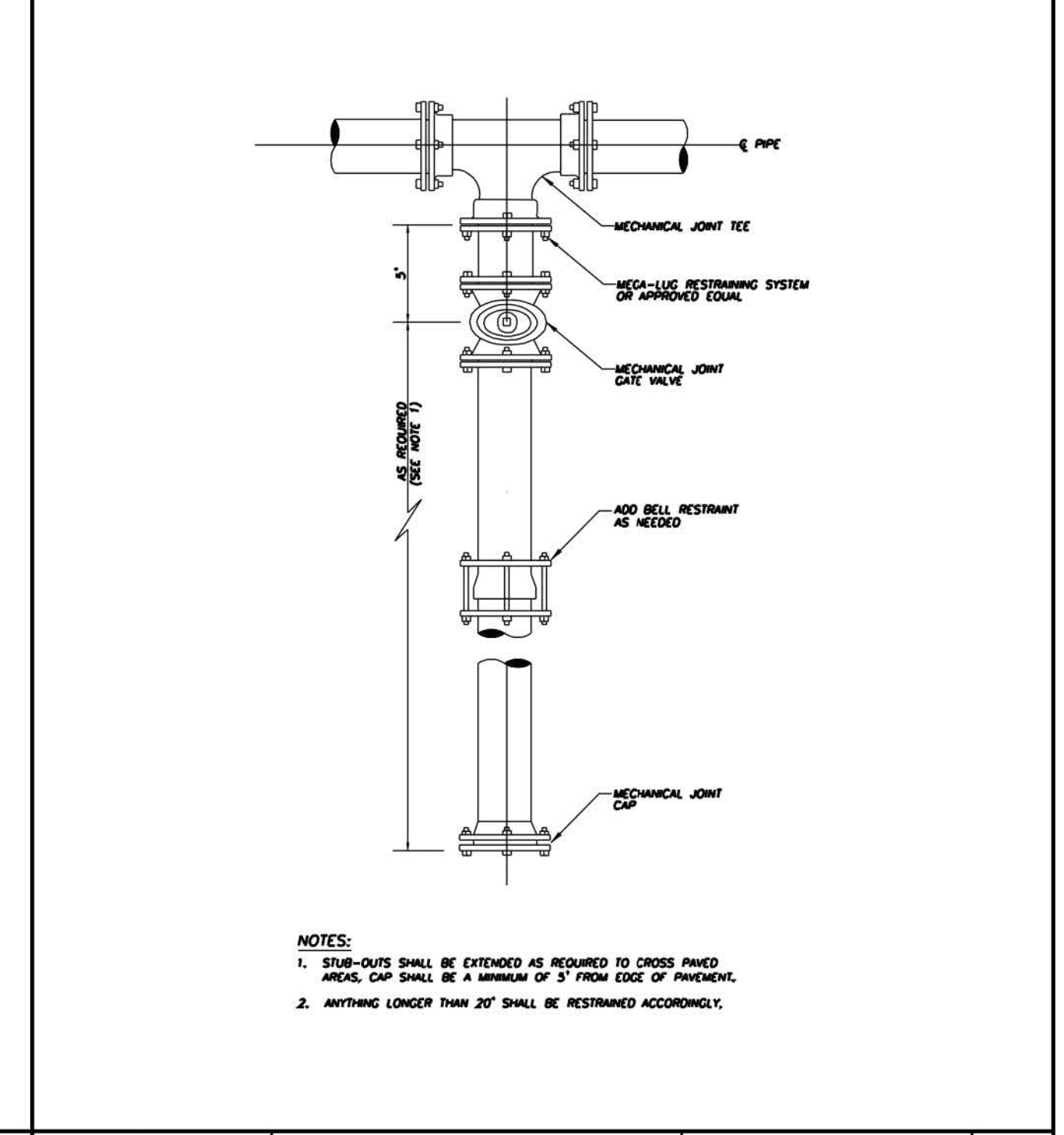
REVISIONS	DATE	COMMENTS
2015	9/26	REVISION 2
2015	9/26	REVISION 1

**DOUBLE CHECK DETECTOR ASSEMBLY**  
SCALE: N.T.S.  
PLATE: W-5



REVISIONS	DATE	COMMENTS
2015	9/26	REVISION 2
2015	9/26	REVISION 1

**TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY**  
SCALE: N.T.S.  
PLATE: W-6



REVISIONS	DATE	COMMENTS
2015	9/26	REVISION 2
2015	9/26	REVISION 1

**PLUGGED DEAD END MECHANICAL RESTRAINTS**  
SCALE: N.T.S.  
PLATE: W-7

NO.	BY	DATE	SYMBOL	REVISIONS
1.	ETS	2015		REVISION 2

DESIGNER:	FLORIDA REGISTRATION NO.
DESIGNER	

**ST. JOHNS COUNTY UTILITY DEPARTMENT**  
 12005 STATE ROAD 16  
 ST. AUGUSTINE, FLORIDA 32084-8648  
 Phone (904) 209-2700 • Fax: (904) 209-2708

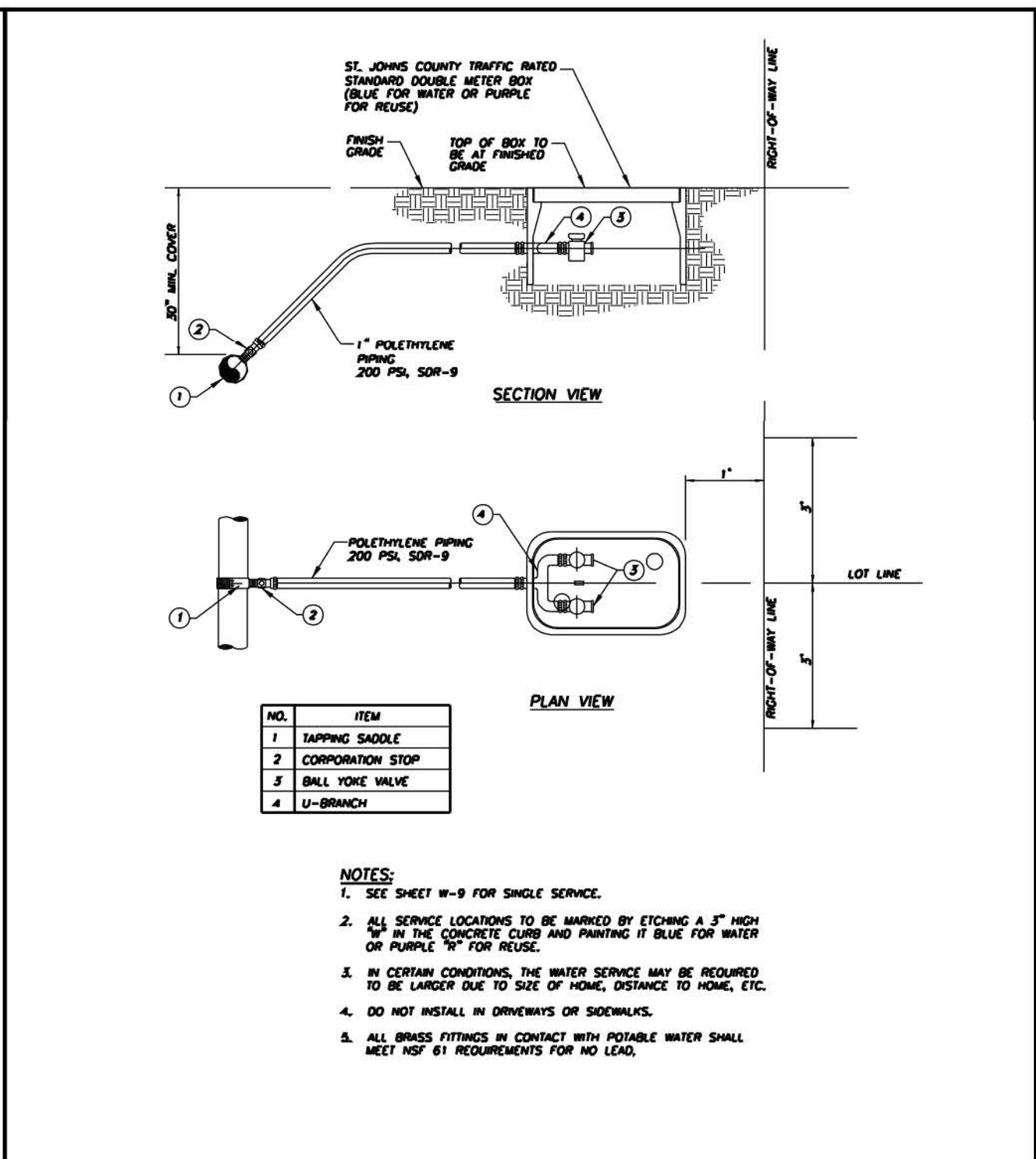
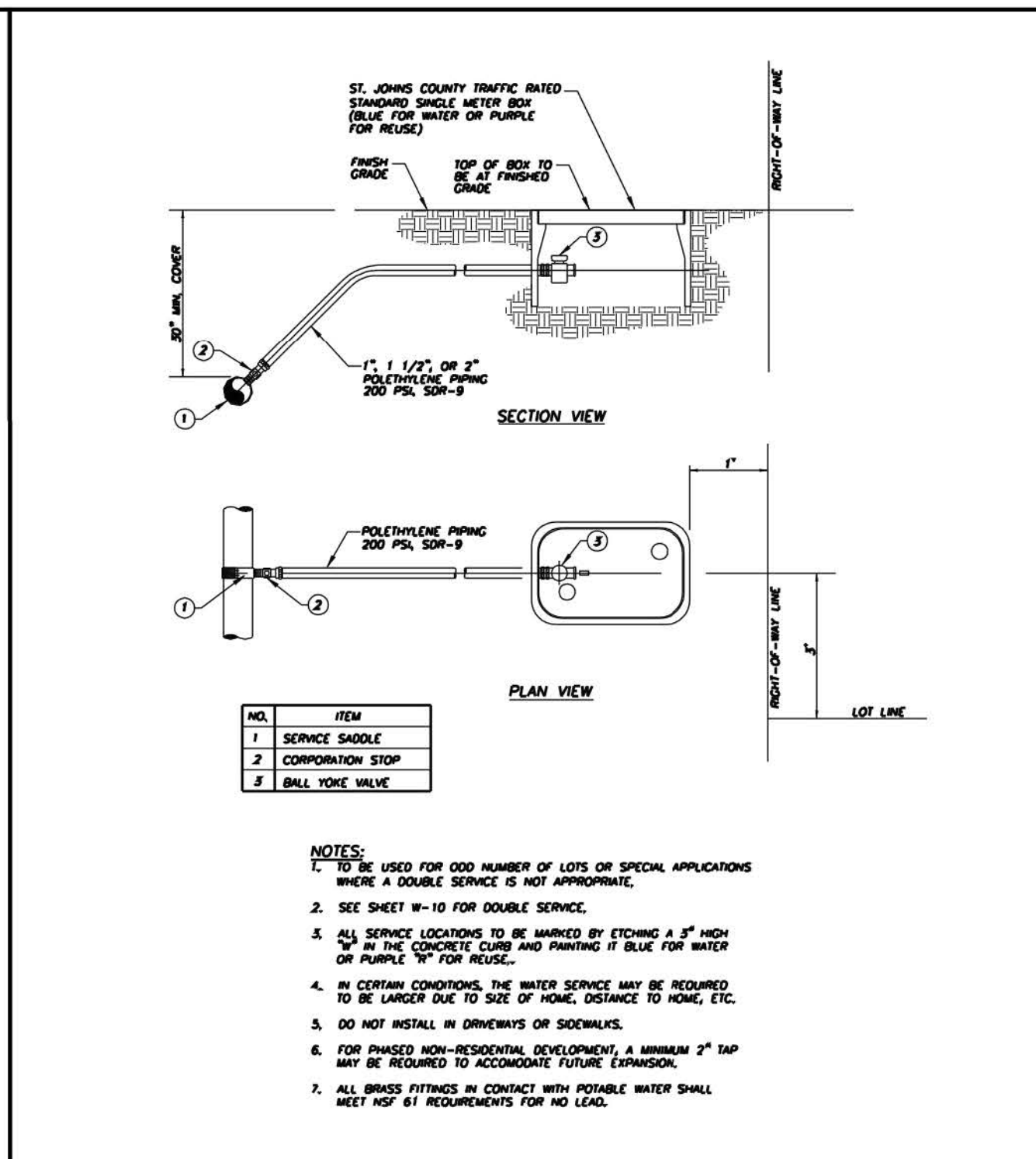
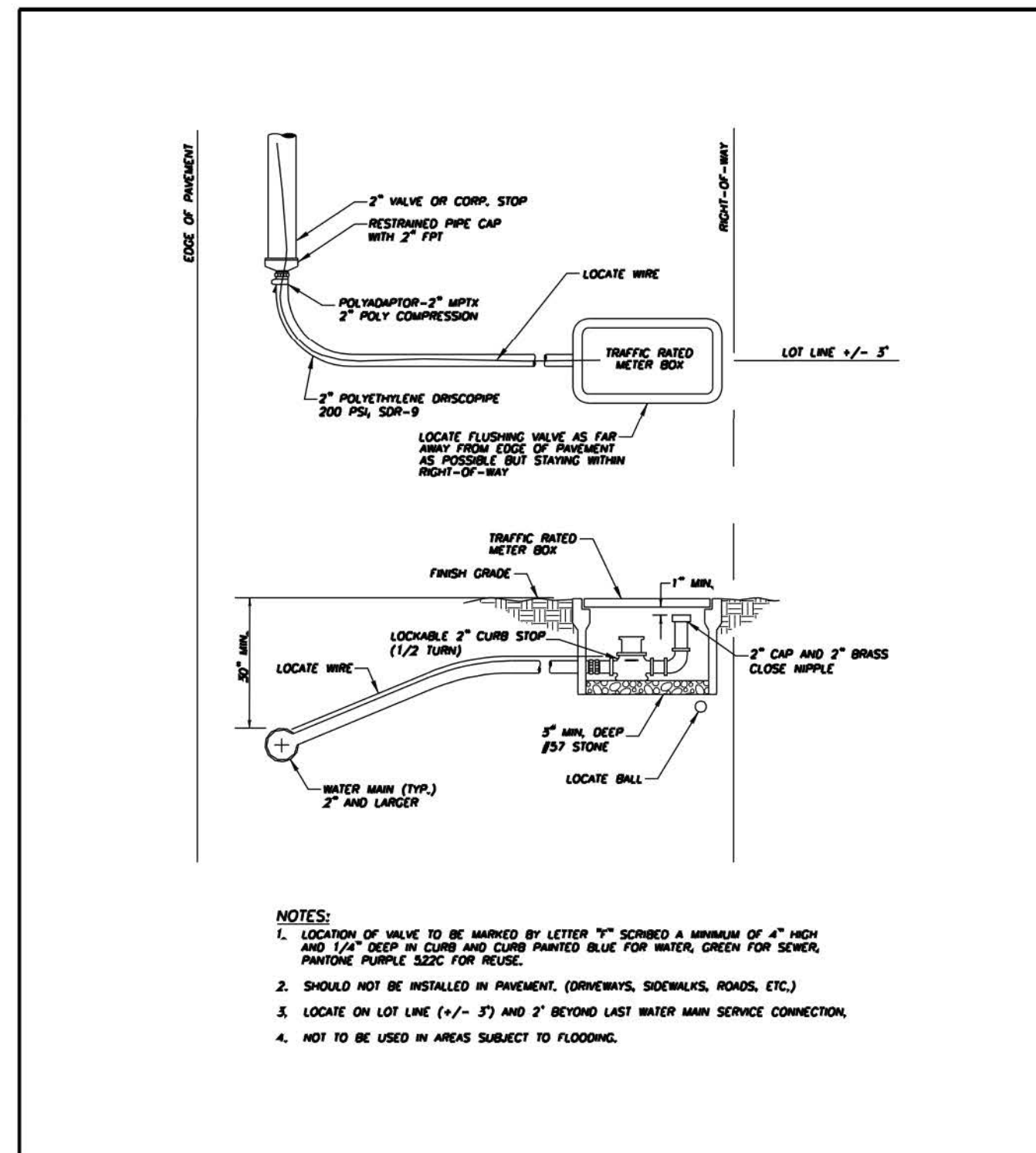
**GENERAL WATER DETAILS**  
 SJCUD STANDARD DRAWING FOR REFERENCE 2017-07-10

NO. SHEETS	SHEET NO.	DRAWING NO.
1	GW-1	GW-01.dwg

REVISIONS	NO.	DATE	DESCRIPTION
1	1	6-23-23	PER SJC COMMENTS

**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MDGINC.COM

**SJCUD UTILITY DETAILS**  
 AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 ST. JOHNS COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.



**RESTRAINT JOINT TABLE**  
MINIMUM LENGTH TO BE RESTRAINED ON EACH SIDE OF FITTINGS (FEET)

NOM. PIPE SIZE (IN.)	ELBOWS (DEG.)				PLUG				VERTICAL BENDS (DEG.)			
	1.25'	22.5'	45'	90'	1.25'	22.5'	45'	90'	1.25'	22.5'	45'	90'
4	3	7	13	31	70	70	70	70	7	14	29	41
6	5	9	18	43	99	99	10	20	4	8	16	21
8	6	12	23	56	129	129	13	26	5	10	20	26
10	7	14	28	66	154	154	16	31	6	12	24	31
12	8	16	32	78	182	182	18	37	7	14	28	37
14	9	18	37	88	207	207	21	42	8	16	32	42
16	10	20	41	99	233	233	23	47	9	18	36	47
18	11	22	45	109	258	258	24	52	10	20	40	52
20	12	24	49	118	282	282	25	56	11	22	44	56

**RESTRAINT JOINT TABLE**  
MINIMUM LENGTH TO BE RESTRAINED ON EACH SIDE OF FITTINGS (FEET)

NOM. PIPE SIZE (IN.)	TEES (*) (BRANCH SIDE ONLY)								REDUCERS (**) (REDUCED SIDE)							
	4	6	8	10	12	14	16	18	4	6	8	10	12	14	16	18
4	25	25	25	25	25	25	25	25	51	51	51	51	51	51	51	51
6	25	25	25	25	25	25	25	25	93	93	93	93	93	93	93	93
8	25	25	25	25	25	25	25	25	126	126	126	126	126	126	126	126
10	25	25	25	25	25	25	25	25	158	158	158	158	158	158	158	158
12	25	25	25	25	25	25	25	25	187	187	187	187	187	187	187	187
14	25	25	25	25	25	25	25	25	215	215	215	215	215	215	215	215
16	25	25	25	25	25	25	25	25	242	242	242	242	242	242	242	242
18	25	25	25	25	25	25	25	25	268	268	268	268	268	268	268	268
20	25	25	25	25	25	25	25	25	294	294	294	294	294	294	294	294

REVISIONS

Date	Comments
2015	REVISION 2
9/26	REVISION 1

**2" FLUSHING VALVE BELOW GRADE TYPE**  
SCALE: N.T.S. PLATE: W-8

REVISIONS

Date	Comments
2015	REVISION 2
9/26	REVISION 1

**WATER SERVICES SINGLE SERVICE**  
SCALE: N.T.S. PLATE: W-9

REVISIONS

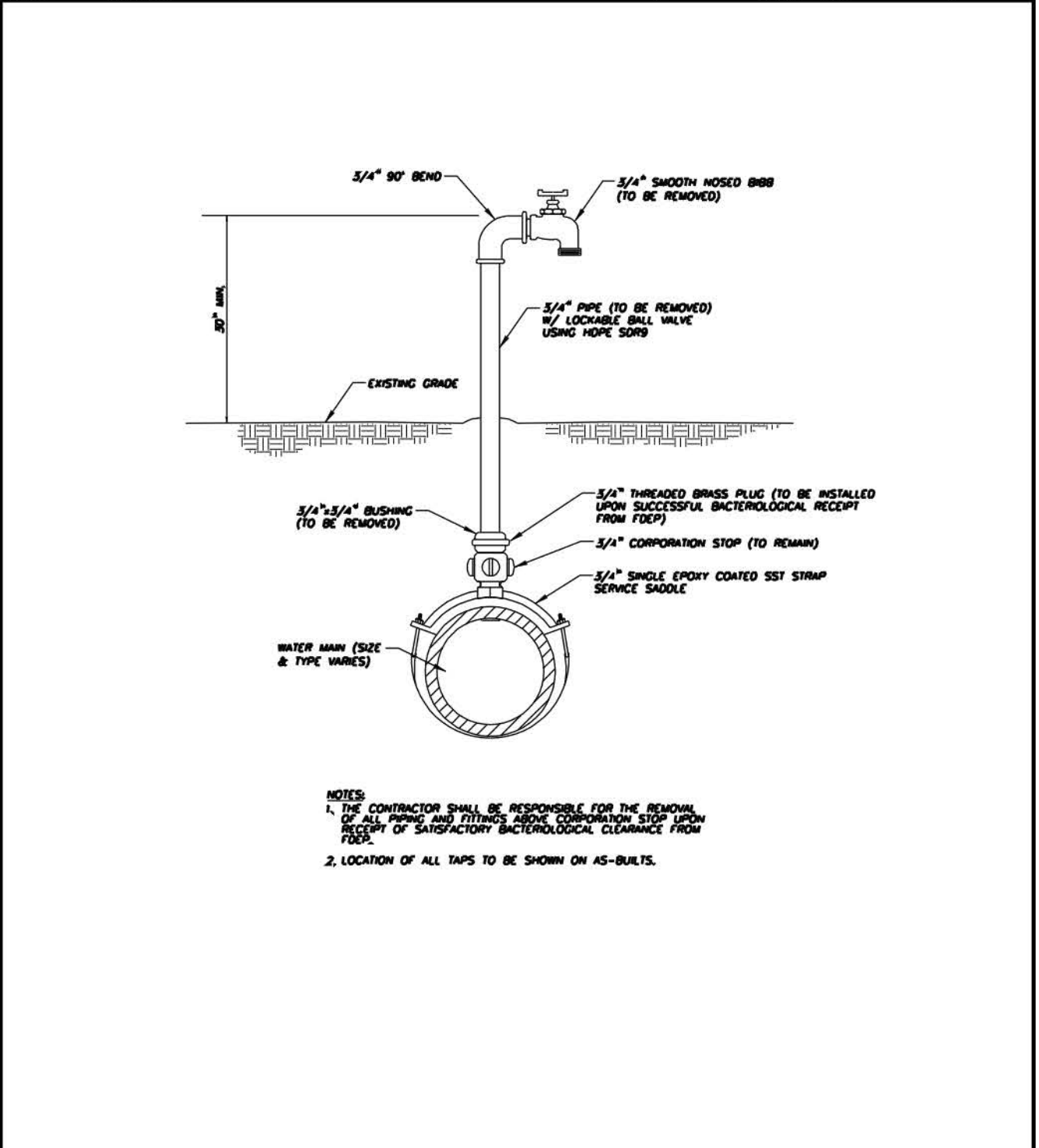
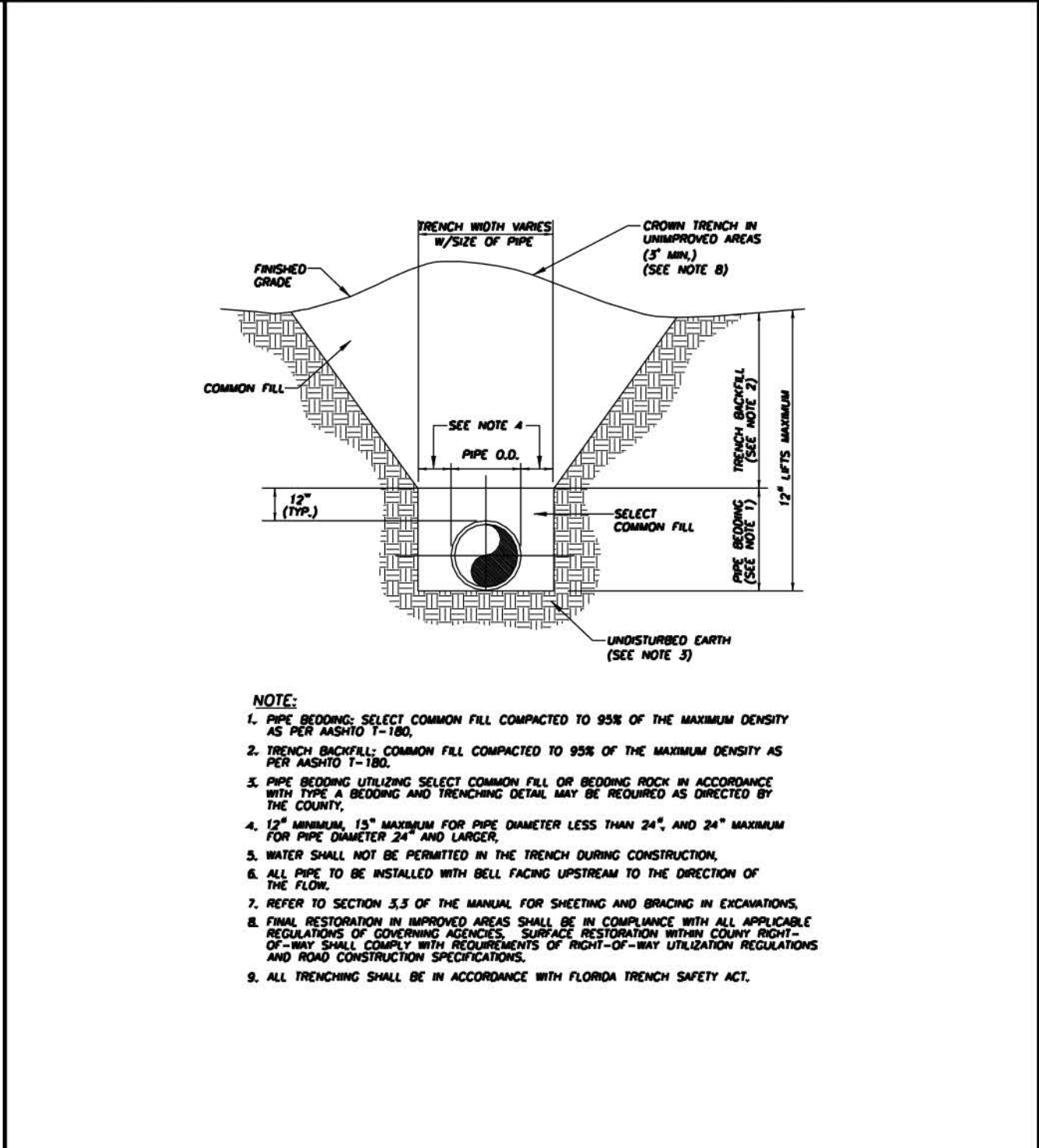
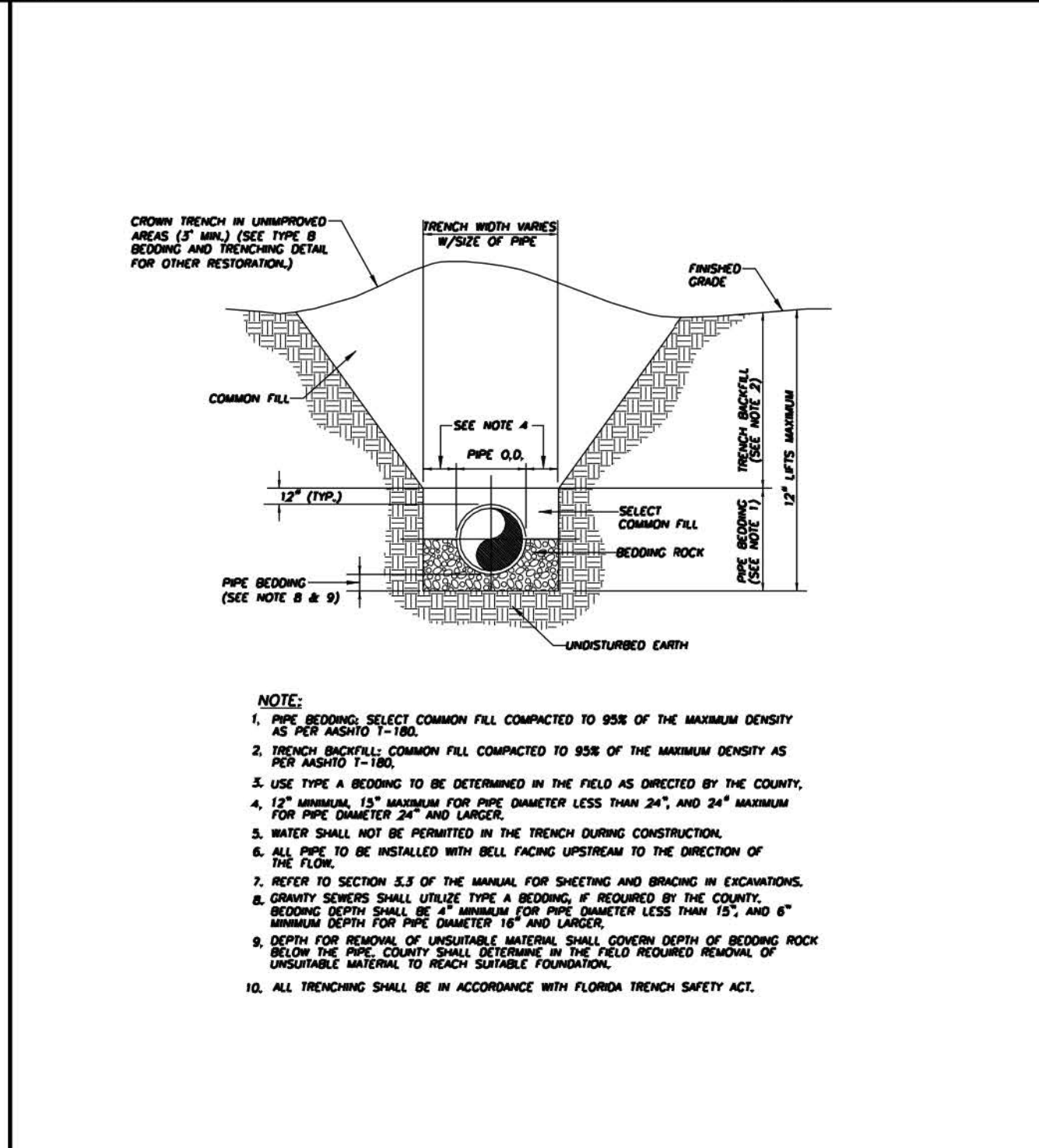
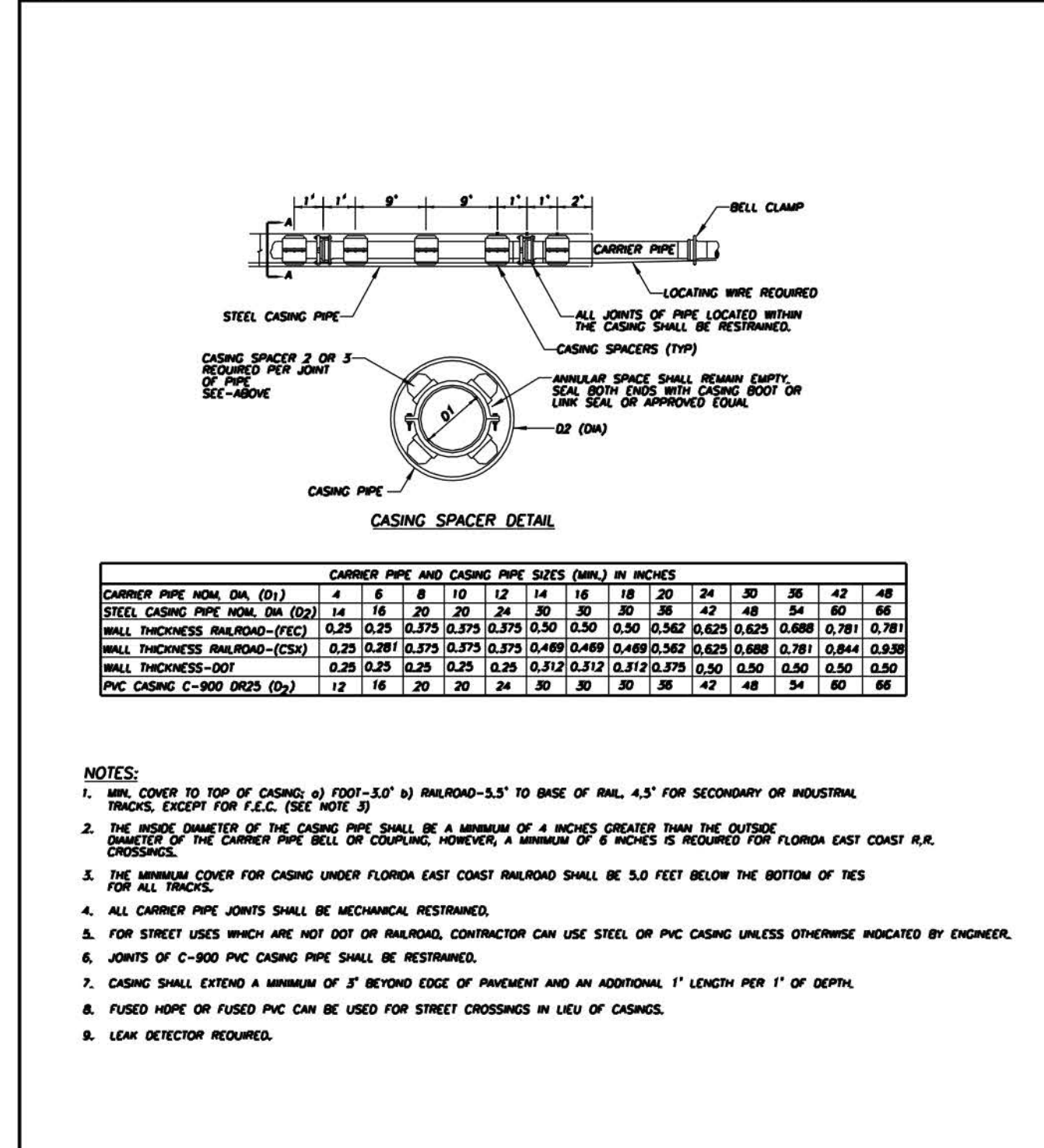
Date	Comments
2015	REVISION 2
9/26	REVISION 1

**WATER SERVICES DOUBLE SERVICE**  
SCALE: N.T.S. PLATE: W-10

REVISIONS

Date	Comments
2015	REVISION 2
9/26	REVISION 1

**RESTRAINED JOINT TABLE**  
SCALE: N.T.S. PLATE: W-11



REVISIONS

Date	Comments
2015	REVISION 2
9/26	REVISION 1

**CASING DETAIL**  
SCALE: N.T.S. PLATE: W-12

REVISIONS

Date	Comments
2015	REVISION 2
9/26	REVISION 1

**TYPE A BEDDING & TRENCHING**  
SCALE: N.T.S. PLATE: W-13

REVISIONS

Date	Comments
2015	REVISION 2
9/26	REVISION 1

**TYPE B BEDDING & TRENCHING**  
SCALE: N.T.S. PLATE: W-14

REVISIONS

Date	Comments
2015	REVISION 2
9/26	REVISION 1

**3/4" TEMPORARY SAMPLE TAP ALONG PIPE**  
SCALE: N.T.S. PLATE: W-15

NO. BY DATE SYMBOL REVISIONS

DESIGNER: FLORIDA REGISTRATION NO.

DRAWN BY: DATE: CHECKED BY: DATE:

ST. JOHNS COUNTY UTILITY DEPARTMENT  
12005 STATE ROAD 16  
ST. AUGUSTINE, FLORIDA 32084-8648  
Phone (904) 209-2700 • Fax: (904) 209-2708

**GENERAL WATER DETAILS**

NO. SHEETS  
SHEET NO. GW-2  
DRAWING NO. GW-02.dwg

SJCUD STANDARD DRAWING FOR REFERENCE 2017-02-08

**MATTHEWS DESIGN GROUP**  
P.O. BOX 3126, 7 WALDO STREET  
ST. AUGUSTINE, FL 32084  
PHONE: 904.826.1334 • FAX: 904.826.4547  
INFO@MDDG.COM

**SJCUD UTILITY DETAILS**  
AGRICULTURAL CENTER WAREHOUSE PHASE 2  
ST. JOHNS COUNTY  
PREPARED FOR  
SOUTHERN STATES PAVEMENT MARKINGS, INC.

REGISTERED ENGINEER  
E. CASSELL, E.L.E.T.S.

16 OF 21

# STORM WATER POLLUTION PREVENTION PLAN

## OWNER'S REQUIREMENTS

**SITE DESCRIPTION**

PROJECT NAME: AGRICULTURAL CENTER WAREHOUSE PHASE 2

LOCATION: ST. JOHNS COUNTY

LATITUDE: 29.91

LONGITUDE: 81.41

OWNER NAME AND ADDRESS: SOUTHERN STATES PAVEMENT MARKINGS, INC.  
1701 WESLEY AVE.  
ST. AUGUSTINE, FL 32084

DESCRIPTION: PROPOSED SITE ADDITIONS WILL BE INTO EXISTING STORMWATER MANAGEMENT FACILITIES AT THE EAST END OF THE SITE FROM PHASE 1

SOIL DISTURBING ACTIVITIES WILL INCLUDE: MOST OF THE SITE DEVELOPMENT AREAS ARE ALREADY CLEARED

RUNOFF CURVE NUMBERS:  
1. PRE-CONSTRUCTION = 60  
2. DURING CONSTRUCTION = 65  
3. POST-CONSTRUCTION = 60

EXISTING SOIL TYPE: M1705/A1M1A90A  
ESTIMATED SWALS: ###

SITE MAPS:  
\* SEE ATTACHED GRADING PLAN FOR PRE & POST DEVELOPMENT GRADER AREAS OF SOILS, DISTURBANCE, LOCATION OF SURFACE WATERS, WETLANDS, PROTECTED AREAS, MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS AND STORM WATER DISCHARGE POINTS.  
\* SEE ATTACHED EROSION & TURBIDITY CONTROL PLAN FOR LOCATION OF TEMPORARY STABILIZATION PRACTICES AND TURBIDITY CONTROL PRACTICES.  
\* SEE GENERAL NOTES FOR REQUIREMENTS FOR TEMPORARY AND PERMANENT STABILIZATION.

SITE AREA:  
1. TOTAL AREA OF SITE = 7.01 ACRES  
2. TOTAL AREA TO BE DISTURBED = 1.22 ACRES

NAME OF RECEIVING WATERS:

OUTFALL 1:  
DRAINAGE AREA: ###  
LATITUDE: ###  
LONGITUDE: ###

OUTFALL 2:  
DRAINAGE AREA: ###  
LATITUDE: ###  
LONGITUDE: ###

### CONTROLS

THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORM WATER RUN OFF. AN EROSION AND TURBIDITY PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS PER PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO CONTRACTOR'S RESPONSIBILITY FOR A DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.

### STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY (DESCRIPTION) \_\_\_\_\_

AREAS WHICH ARE NOT TO BE CONSTRUCTED ON, BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE. WHEN CONSTRUCTION IS COMPLETE, A TOTAL OF ### ACRES WILL HAVE BEEN REGRADED AND ### ACRES LEFT UNDISTURBED. THE SITE DISCHARGES TO A DRY RETENTION SYSTEM. WHERE PRACTICAL, TEMPORARY SEDIMENT BASINS WILL BE USED TO INTERCEPT SEDIMENT BEFORE ENTERING THE PERMANENT RETENTION BASIN. THIS IS IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY THE WATER MANAGEMENT DISTRICT FOR THIS TYPE OF DEVELOPMENT AT THE TIME OF PERMITTING

### BMP'S TO BE IMPLEMENTED

BMP: ###  
LOCATION AND DESCRIPTION: ###

BMP: ###  
LOCATION AND DESCRIPTION: ###

BMP: ###  
LOCATION AND DESCRIPTION: ###

BMP: ###  
LOCATION AND DESCRIPTION: ###

### CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL LAWS RELATED TO STORM WATER MANAGEMENT AND EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED:

C.O.E. DREDGE/FILL PERMIT # \_\_\_\_\_  
W.M.D. ENVIRONMENTAL RESOURCE PERMIT # \_\_\_\_\_

### POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: \_\_\_\_\_

DATED: \_\_\_\_\_

## CONTRACTOR'S REQUIREMENTS

GENERAL

CONSTRUCTED ON UNDISTURBED SOIL, AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE. LEVEL SPREADER SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DETAILS.

5. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.

6. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEANING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THIS REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.

7. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LOADED STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.

8. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING.

9. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.

10. TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREAS) SHALL BE ROLLED AND WATERED OR HYDRO MULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY GRASSING SHALL BE THE SAME MIX & AMOUNT REQUIRED FOR PERMANENT GRASSING IN THE CONTRACT SPECIFICATIONS.

11. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSING HAS NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER.

12. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.

13. PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

14. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION SHALL AS A MINIMUM BE SEEDDED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEEDDED AND MULCHED OR SODDED.

15. TEMPORARY FLOATING TURBIDITY BARRIER: FLOATING TURBIDITY BARRIER MAY BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH. FILTER CURTAIN SHALL REACH THE BOTTOM UP TO DEPTHS OF 10 FEET.

OTHER CONTROLS

WASTE DISPOSAL

WASTE MATERIALS

ALL WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL BE HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DEPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS FOR SANITARY SEWER OR SEPTIC SYSTEMS.

OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPALIN.

SPILL PREVENTION

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:

<input type="checkbox"/> Concrete	<input type="checkbox"/> Fertilizers	<input type="checkbox"/> Wood
<input type="checkbox"/> Asphalt	<input type="checkbox"/> Petroleum Based Products	<input type="checkbox"/> Masonry Blocks
<input type="checkbox"/> Tar	<input type="checkbox"/> Cleaning Solvents	<input type="checkbox"/> Roofing Materials
<input type="checkbox"/> Detergents	<input type="checkbox"/> Paints	<input type="checkbox"/> Metal Studs
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

STRUCTURAL PRACTICES

1. TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY, AND IT SHALL BE CONSTRUCTED IN ACCORDANCE TO WITH THE DETAILS.

2. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP SHALL BE INSTALLED IN AN DRAINAGE WAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA. THE FOLLOWING SEDIMENT TRAPS MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE:  
A. BLOCK & GRAVEL SEDIMENT FILTER - THIS PROTECTION IS APPLICABLE WHERE HEAVY FLOWS AND/OR WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE. REFER TO THE DETAIL SHEET FOR CONSTRUCTION OF A CURB INLET SEDIMENT FILTER, AND FOR CONSTRUCTION OF A DROP INLET SEDIMENT FILTER.  
B. GRAVEL SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES & UNPROTECTED SEDIMENT TRAP.

3. DROP INLET SEDIMENT TRAP - THIS PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (S < 5%) AND WHERE SHEET OR OVERLAND FLOWS (Q < 0.5 CFS) ARE TYPICAL. THIS METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREET OR HIGHWAY MEDIANS. REFER TO THE DETAILS FOR CONSTRUCTION OF HAY BALE & FABRIC SEDIMENT FILTER.

4. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE FLOW COULD CAUSE EROSION & SEDIMENT PROBLEM TO THE RECEIVING WATER BODY. SILT FENCES & HAY BALES ARE TO BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE DISCHARGING STRUCTURE AS SHOWN ON THE OUTLET PROTECTION DETAIL.

5. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,800 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

\* PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT ORIGINAL LABELS.

\* ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

\* IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONLY AT DISCHARGE POINT PROVIDED. NO OFFSITE DISCHARGE WILL BE PERMITTED.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE VARIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, SOGGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.

MAINTENANCE/INSPECTION PROCEDURES

EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

\* NO MORE THAN 10 ACRES OF THE SITE WILL BE DENIED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

\* ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.50 INCHES OR GREATER.

\* ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

\* BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

HAZARDOUS PRODUCTS

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

\* PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT ORIGINAL LABELS.

\* ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.

\* IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONLY AT DISCHARGE POINT PROVIDED. NO OFFSITE DISCHARGE WILL BE PERMITTED.

SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE VARIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

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EROSION AND SEDIMENT CONTROL, INSPECTION AND MAINTENANCE PRACTICES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

\* NO MORE THAN 10 ACRES OF THE SITE WILL BE DENIED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.

\* ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.50 INCHES OR GREATER.

\* ALL TURBIDITY CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.

\* BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

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HAZARDOUS PRODUCTS

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\* IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS

ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS.

FERTILIZERS

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONLY AT DISCHARGE POINT PROVIDED. NO OFFSITE DISCHARGE WILL BE PERMITTED.

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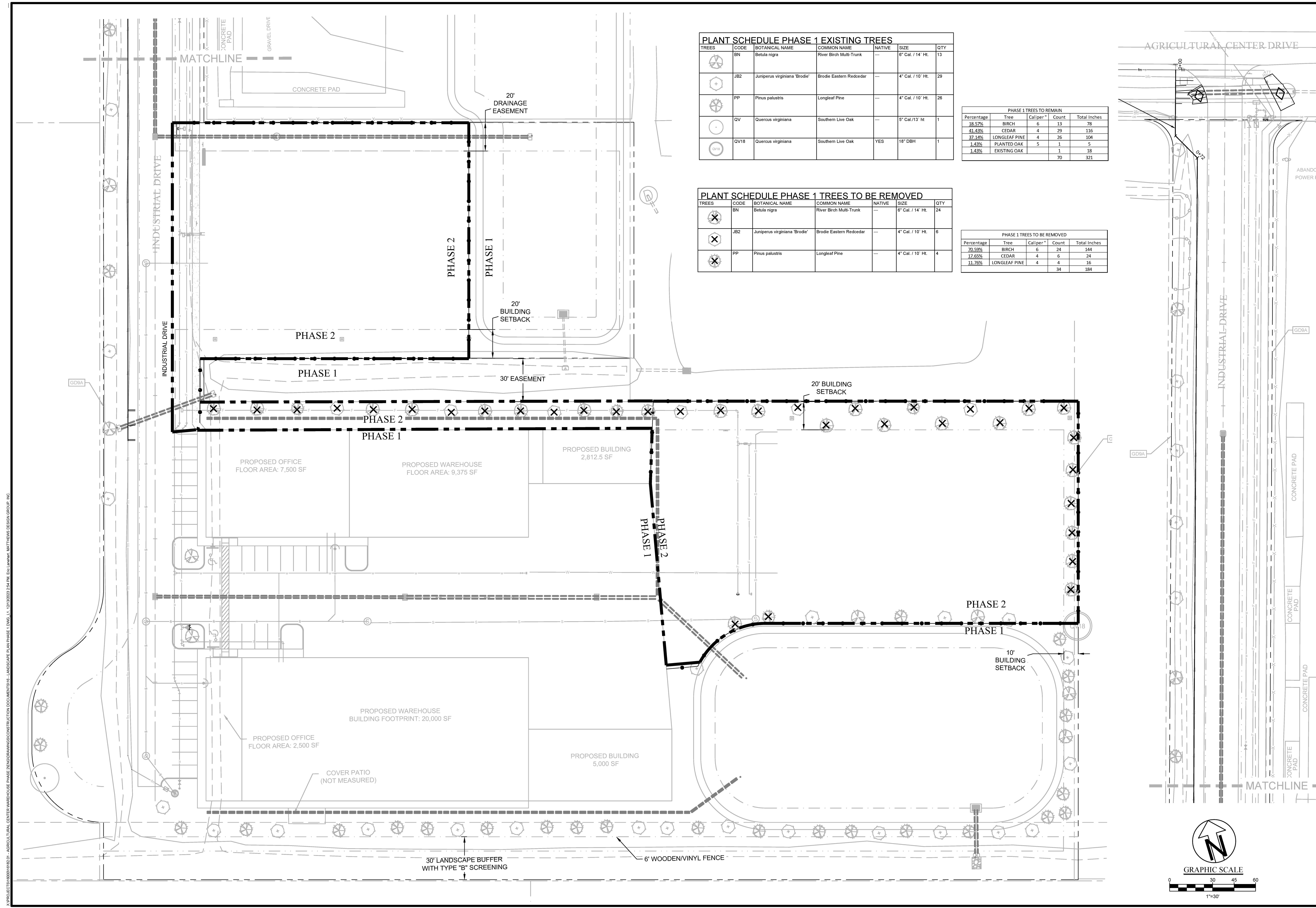
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**PLANT SCHEDULE PHASE 1 EXISTING TREES**

TREES	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
	BN	Betula nigra	River Birch Multi-Trunk	---	6" Cal. / 14' Ht.	13
	JB2	Juniperus virginiana 'Brodie'	Brodie Eastern Redcedar	---	4" Cal. / 10' Ht.	29
	PP	Pinus palustris	Longleaf Pine	---	4" Cal. / 10' Ht.	26
	QV	Quercus virginiana	Southern Live Oak	---	5" Cal./13' ht	1
	QV18	Quercus virginiana	Southern Live Oak	YES	18" DBH	1

**PHASE 1 TREES TO REMAIN**

Percentage	Tree	Caliper"	Count	Total Inches
38.57%	BIRCH	6	13	78
41.43%	CEDAR	4	29	116
37.14%	LONGLEAF PINE	4	26	104
1.43%	PLANTED OAK	5	1	5
1.43%	EXISTING OAK		1	18
			70	321

**PLANT SCHEDULE PHASE 1 TREES TO BE REMOVED**

TREES	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
	BN	Betula nigra	River Birch Multi-Trunk	---	6" Cal. / 14' Ht.	24
	JB2	Juniperus virginiana 'Brodie'	Brodie Eastern Redcedar	---	4" Cal. / 10' Ht.	6
	PP	Pinus palustris	Longleaf Pine	---	4" Cal. / 10' Ht.	4

**PHASE 1 TREES TO BE REMOVED**

Percentage	Tree	Caliper"	Count	Total Inches
70.59%	BIRCH	6	24	144
17.65%	CEDAR	4	6	24
11.76%	LONGLEAF PINE	4	4	16
			34	184

1/20/2023 10:00 AM - AGRICULTURAL CENTER WAREHOUSE PHASE 1 AND 2 LANDSCAPE PLAN PHASE 1 AND 2 - 11:23 AM 6/24/2023 10:00 AM - AGRICULTURAL CENTER WAREHOUSE PHASE 1 AND 2 LANDSCAPE PLAN PHASE 1 AND 2 - 11:23 AM

**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MIDGINC.COM

**LANDSCAPE PLAN PHASE 1 AND 2**  
**AGRICULTURAL CENTER WAREHOUSE PHASE 2**  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.

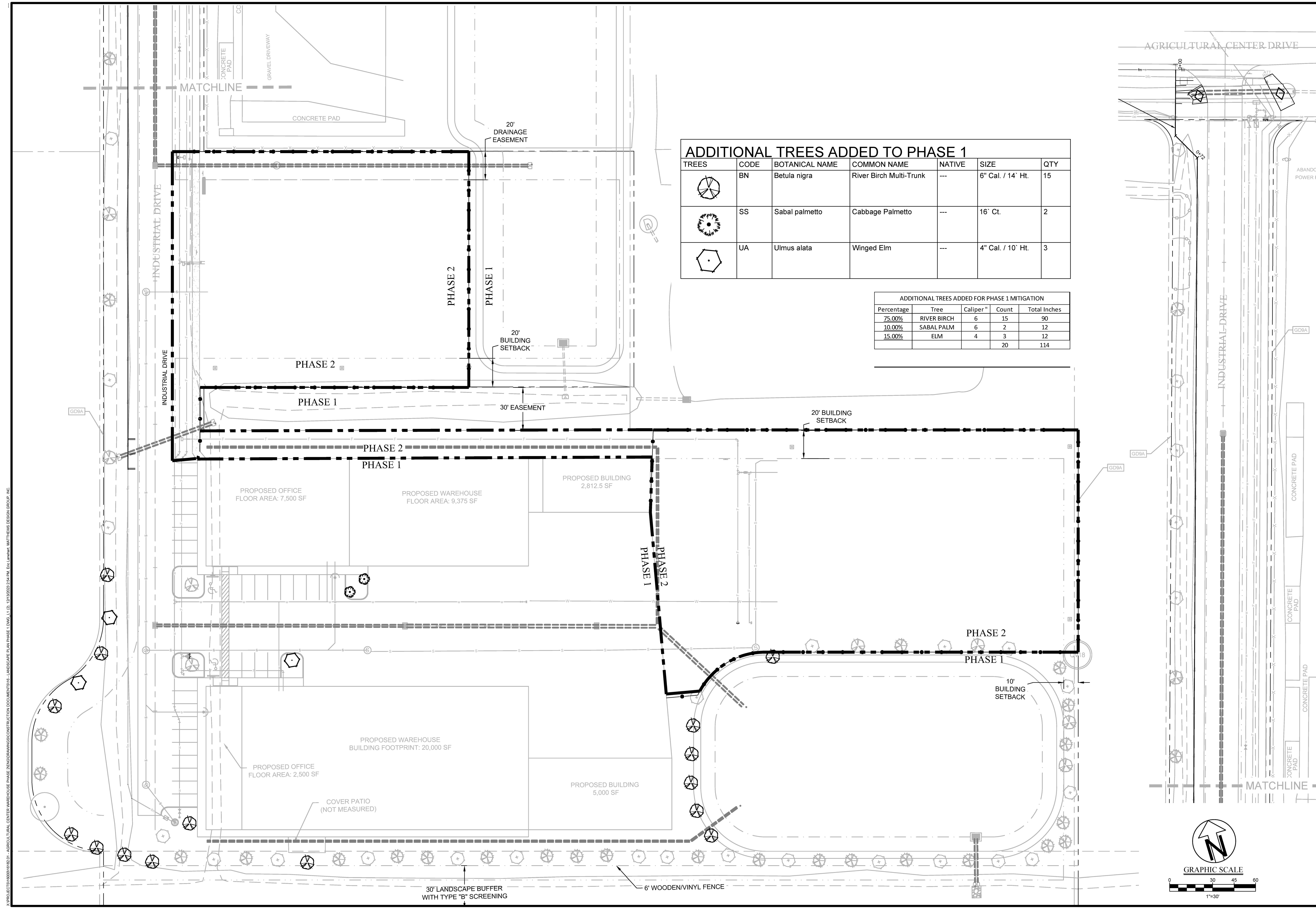
REGISTERED LANDSCAPE ARCHITECT  
 CA#26333 FL #668887

DATE: 03-24-2023  
 JOB NO: 16182.01

REVISIONS  
 NO. 1  
 DATE 6-23-23  
 DESCRIPTION PER SJC COMMENTS

SCALE: 1"=30'

SHEET NO. **L1**  
 OF 1



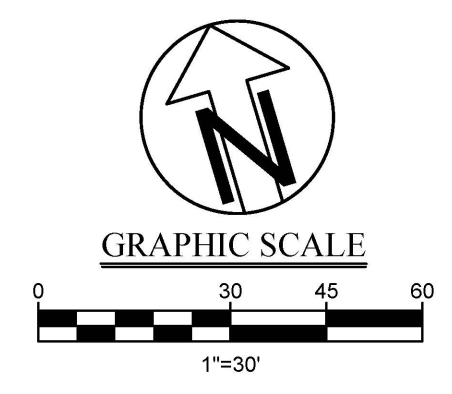
**ADDITIONAL TREES ADDED TO PHASE 1**

TREES	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
	BN	Betula nigra	River Birch Multi-Trunk	---	6" Cal. / 14' Ht.	15
	SS	Sabal palmetto	Cabbage Palmetto	---	16" Ct.	2
	UA	Ulmus alata	Winged Elm	---	4" Cal. / 10' Ht.	3

**ADDITIONAL TREES ADDED FOR PHASE 1 MITIGATION**

Percentage	Tree	Caliper"	Count	Total Inches
75.00%	RIVER BIRCH	6	15	90
10.00%	SABAL PALM	6	2	12
15.00%	ELM	4	3	12
			20	114

MATTHEWS DESIGN GROUP, INC. 10000 W. WINDY HILL BLVD. SUITE 1000, WEST PALM BEACH, FL 33411-4000  
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**LANDSCAPE PLAN PHASE 1 AND 2**  
 AGRICULTURAL CENTER WAREHOUSE PHASE 2  
 ST. JOHN'S COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.

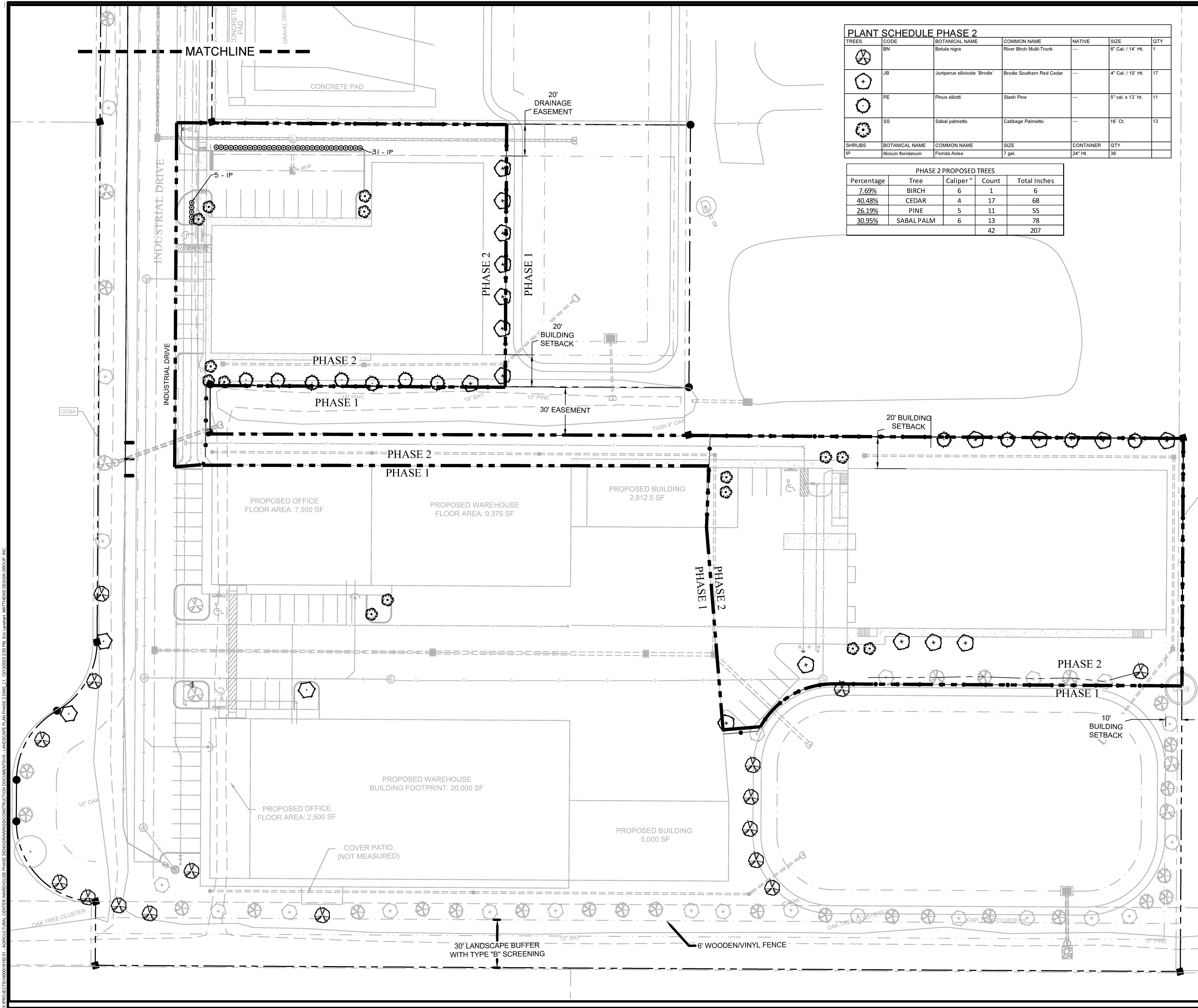
**REVISIONS**

NO.	DATE	DESCRIPTION
1	6-23-23	PER SJC COMMENTS

DRAWN BY: E.J.L.  
 CHECKED BY: E.J.L.  
 DATE: 03-24-2023  
 JOB NO.: 16182.01

SHEET NO.: **L2**  
 OF 1

REGISTERED LANDSCAPE ARCHITECT  
 CA#62533 FL #668827



**PLANT SCHEDULE PHASE 2**

TREES	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	QTY
⊗	BN	Betula nigra	River Birch Multi-Trunk	---	6" Cal. / 14' Ht.	1
⊕	JB	Juniperus silicicola 'Brode'	Brodie Southern Red Cedar	---	4" Cal. / 10' Ht.	17
⊙	PE	Pinus elliotti	Slash Pine	---	5" cal. x 13' ht.	11
⊗	SS	Sabal palmetto	Cabbage Palmetto	---	16" Ct.	13
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
IP	Illicium floridanum	Florida Anise	7 gal.	24" Ht.	38	

**PHASE 2 PROPOSED TREES**

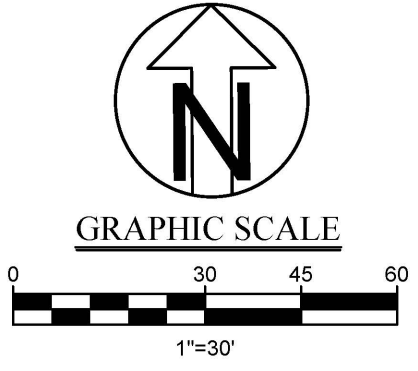
Percentage	Tree	Caliper"	Count	Total Inches
7.69%	BIRCH	6	1	6
40.48%	CEDAR	4	17	68
26.19%	PINE	5	11	55
30.95%	SABAL PALM	6	13	78
			42	207

**TREE REQUIREMENT CALCULATIONS PHASE ONE AND TWO**

MINIMUM TREE REQUIREMENT	80 INCHES/ ACRE
SITE AREA	6.09 ACRES
MINIMUM TREES INCHES REQUIRED	487 INCHES
PRESERVED TREE INCHES	321
TREES TO BE PLANTED	321
TOTAL TREE INCHES	642
<b>SJC TREE MITIGATION REQUIREMENT</b>	
PRESERVED TREE INCHES MUST BE > REMOVED PROTECTED TREE INCHES	
REMOVED PROTECTED TREES	184 INCHES
TREES TO BE PLANTED	321 INCHES
	321 > 184

ADDITIONAL INCHES ARE PLANTED FOR PHASE 1 MITIGATION

WARDEN SCOTT (0000) 08/01/2023 - AGRICULTURAL CENTER WAREHOUSE PHASE 2 LANDSCAPE PLAN PHASE 2.DWG, L.L. 03/20/2023 2:52 PM, E:\L\A\A\4 MATTHEWS DESIGN GROUP, INC.



**MATTHEWS DESIGN GROUP**  
 P.O. BOX 3126, 7 WALDO STREET  
 ST. AUGUSTINE, FL 32084  
 PHONE: 904.826.1334 • FAX: 904.826.4547  
 INFO@MIDGINC.COM

**LANDSCAPE PLAN PHASE 1 AND 2**  
**AGRICULTURAL CENTER WAREHOUSE PHASE 2**  
 ST. JOHN'S COUNTY  
 PREPARED FOR  
 SOUTHERN STATES PAVEMENT MARKINGS, INC.

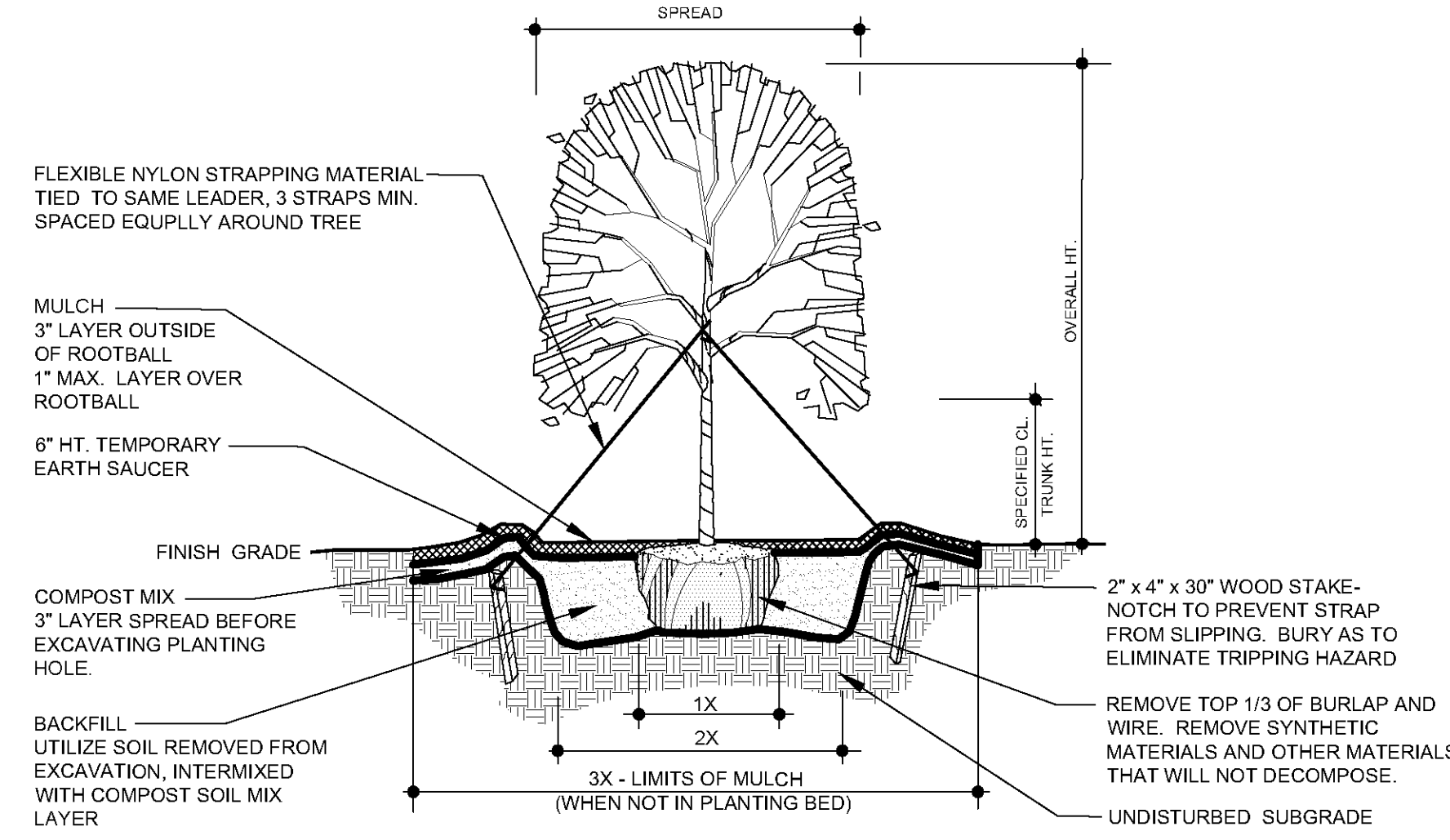
NO.	DATE	BY	DESCRIPTION
1	6-23-23	E.J.L.	PER SJC COMMENTS

REVISIONS

DATE: 03-24-2023  
 JOB NO.: 16182.01

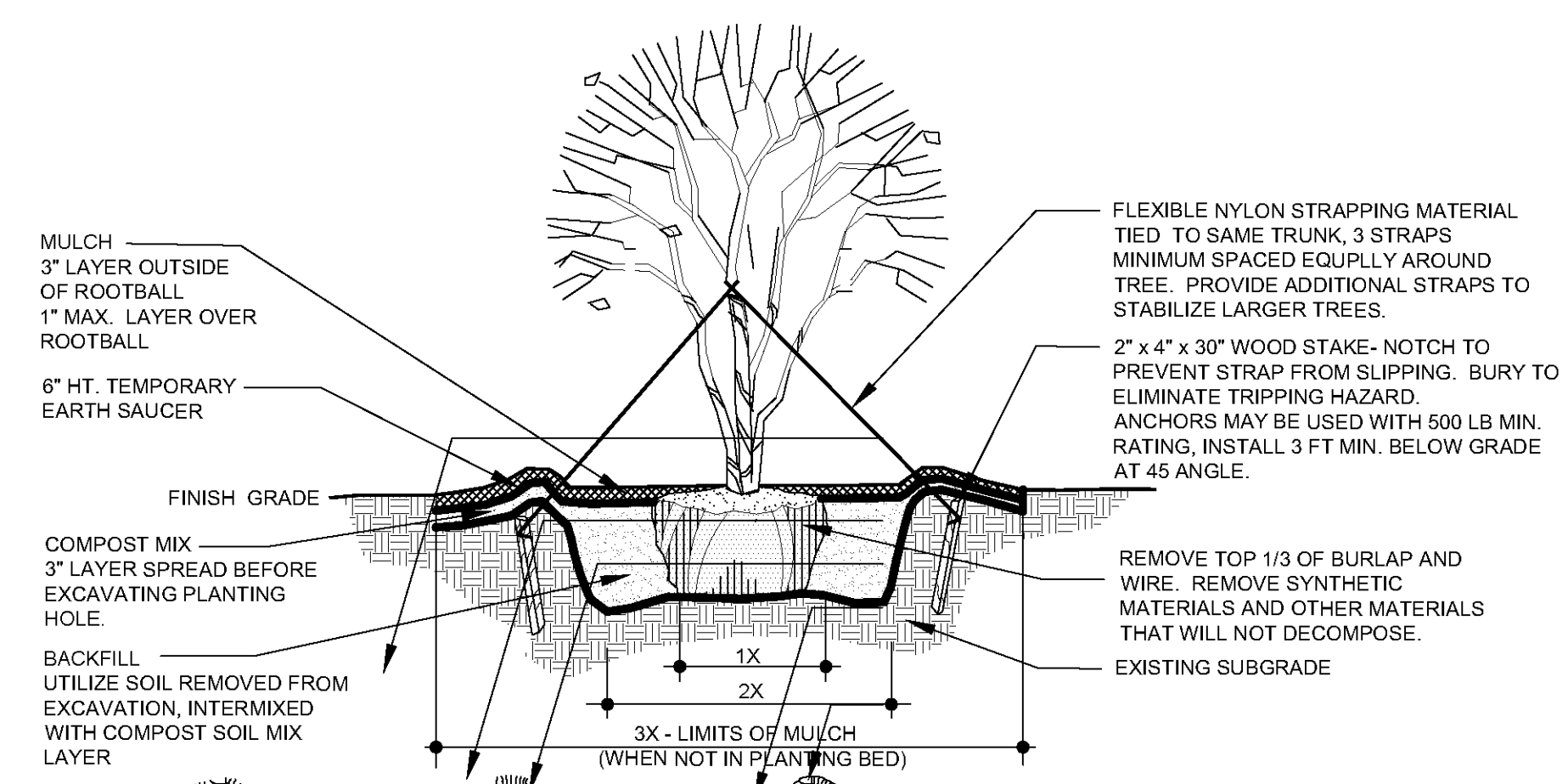
SHEET NO.: **L3**  
 OF 1





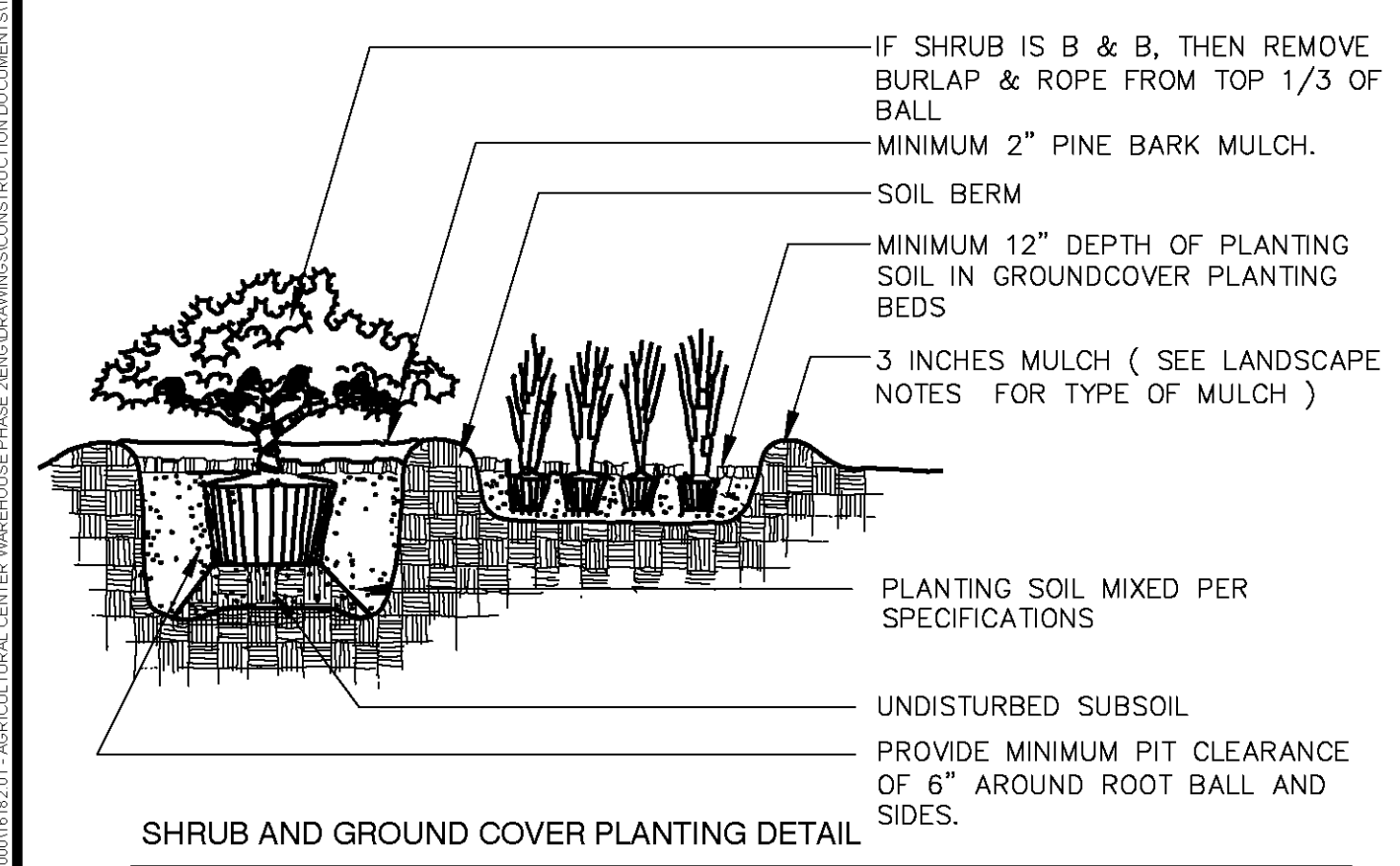
- NOTES:**
- PLANT TOP OF ROOT BALL 2" ABOVE FINISH GRADE.
  - BOTTOM OF ROOT BALL SHALL BE SEATED DIRECTLY ON UNDISTURBED SUBGRADE.
  - TOPMOST ROOT-ROOT FLARE SHALL BE MADE VISIBLE PRIOR TO PLANTING.
  - ROOT DEFECTS - INSPECT ROOT BALL FOR ROOT DEFECTS, CUT ROOTS WHERE THEY BEGIN TO KINK OR CIRCLE. ROOT BALL SHALL COMPLY WITH FLORIDA GRADES AND STANDARDS.
  - STAKE ABOVE FIRST STRONG BRANCHES TO PROVIDE FIRM SUPPORT.

**TREE PLANTING - SINGLE TRUNK**  
N.T.S.

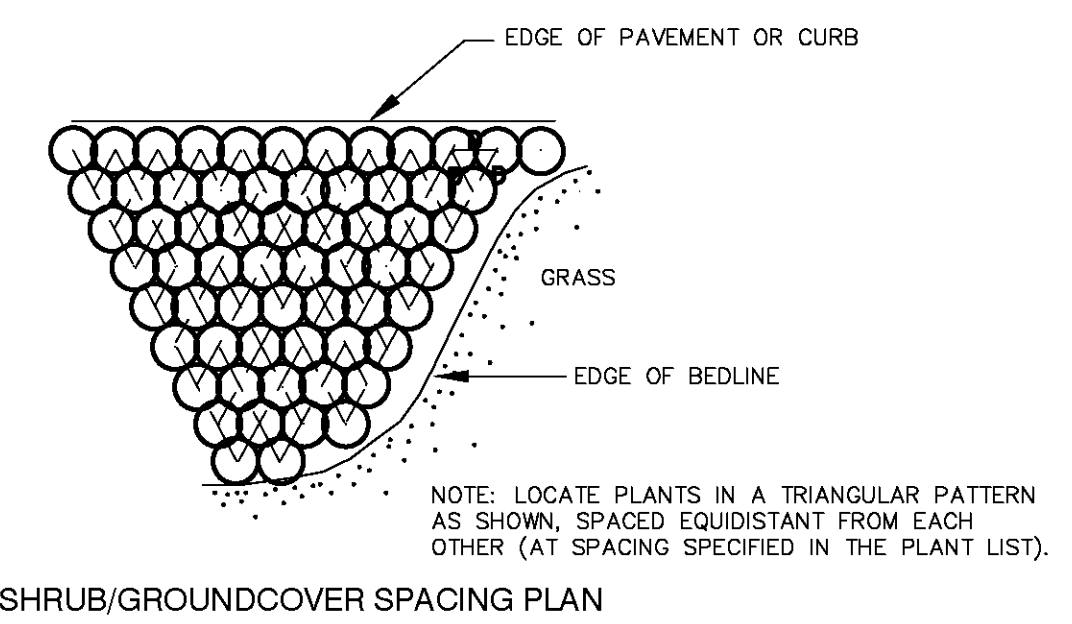


- NOTES:**
- PLANT TOP OF ROOT BALL 2" ABOVE FINISH GRADE.
  - BOTTOM OF ROOT BALL SHALL BE SEATED DIRECTLY ON UNDISTURBED SUBGRADE.
  - TOPMOST ROOT-ROOT FLARE SHALL BE MADE VISIBLE PRIOR TO PLANTING.
  - ROOT DEFECTS - INSPECT ROOT BALL FOR ROOT DEFECTS, CUT ROOTS WHERE THEY BEGIN TO KINK OR CIRCLE. ROOT BALL SHALL COMPLY WITH FLORIDA GRADES AND STANDARDS.
  - STAKE ABOVE FIRST STRONG BRANCHES TO PROVIDE FIRM SUPPORT.

**MULTIPLE STEM TREE PLANTING**



**SHRUB AND GROUND COVER PLANTING DETAIL**



**SHRUB/GROUNDCOVER SPACING PLAN**

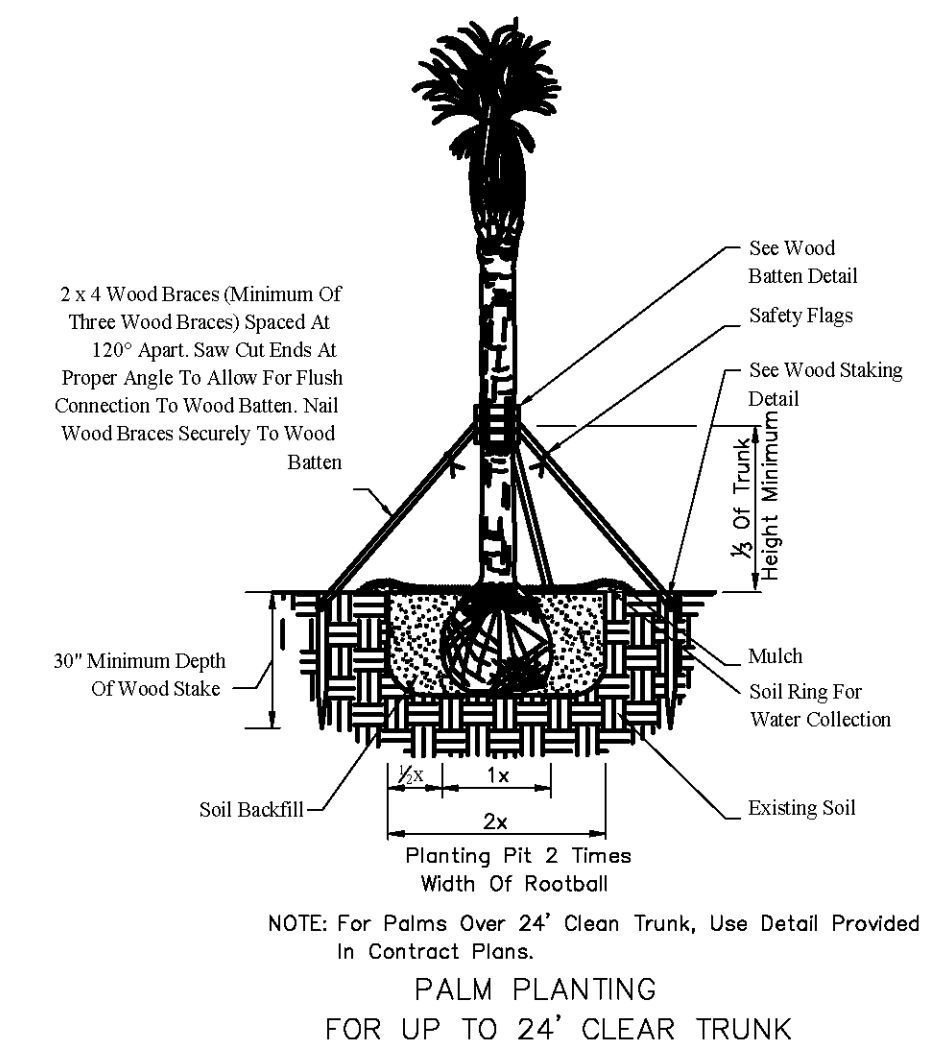
- NOTES:**
1. 70% OF NEWLY PLANTED TREES MUST BE CANOPY TREES.
  2. NO MORE THAN 50% OF NEWLY PLANTED TREES CAN BE OF THE SAME SPECIES.

**GENERAL NOTES:**

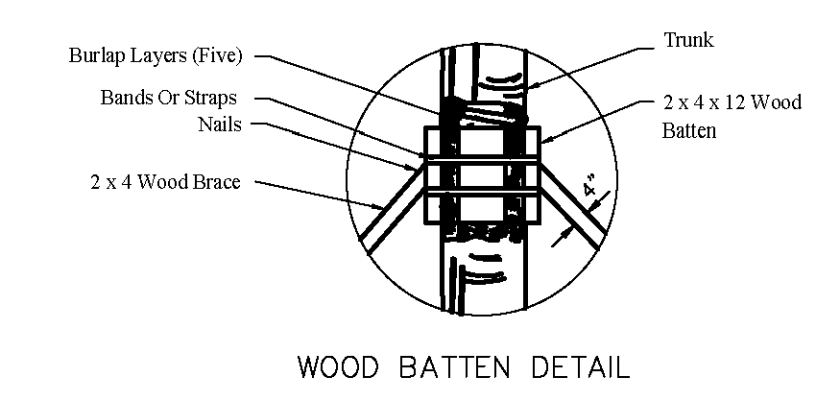
- A. VEGETATION THAT EXCEEDS TWENTY-FIVE (25) FEET IN HEIGHT AT MATURITY SHOULD NOT BE PLANTED CLOSER THAN FIFTEEN (15) FEET OF THE VERTICAL PLANE OF AN EXISTING POWER LINE, EXCLUDING SERVICE WIRES.
- B. BALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE CUT AWAY FROM TOP ONE-THIRD OF ROOT BALL.
- C. NON-CANOPY TREES SHALL NOT BE PLANTED CLOSER THAN 10 FEET FROM OTHER TREES AND CANOPY TREES NO CLOSER THAN 20-30 FEET, DEPENDING ON SPECIES.
- D. PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR GRADE #1 OR BETTER AS GIVEN IN THE LATEST "GRADES AND STANDARDS FOR NURSERY PLANTS, PART I AND II," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES OR TO THE STANDARDS AS GIVEN IN THE LATEST "AMERICAN STANDARD FOR NURSERY STOCK", AMERICAN NATIONAL.
- E. PINE BARK SHOULD BE USED IN ALL BEDS AND TREE RINGS UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.
- F. A MULCH RING FOR ALL NEWLY PLANTED TREES SHALL BE PROVIDED AT LEAST FIVE (5) FEET IN DIAMETER AND NOT CLOSER THAN SIX (6) INCHES FROM THE TREE TRUNK.
- G. IRRIGATION WILL BE PROVIDED BY HOSE BIBS PLACED EVERY 50'.
- H. TREES SHALL HAVE A MINIMUM HEIGHT OF EIGHT (8) TO TEN (10) FEET AND TWO (2) INCHES OF CALIPER.
- I. SHRUB LINES ARE TO BE PLANTED AT THE REQUIRED MINIMUM HEIGHT, NOT BY CONTAINER SIZE.
- J. SOIL IN TREE ISLAND SHALL HAVE AT LEAST 12" OF SUITABLE SOIL FOR TREE PLANTINGS, AND BE VOID OF ANY CONSTRUCTION DEBRIS OR UNSUITABLE MATERIALS.
- K. TREES SHALL NOT BE PLANTED CLOSER THAN 7.5" FROM THE CENTERLINE OF UNDERGROUND UTILITIES.
- L. SOD ALL DISTURBED AREAS NOT OTHERWISE PLANTED WITH TREES OR SHRUBS. SOD IS TO BE ARGENTINE BAHIAGRASS, UNLESS OTHERWISE STATED.
- M. A MINIMUM OF 3' OF SPACE SHALL BE PROVIDED BETWEEN ANY PROPOSED LANDSCAPING AND FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS.

**PLANTING NOTES**

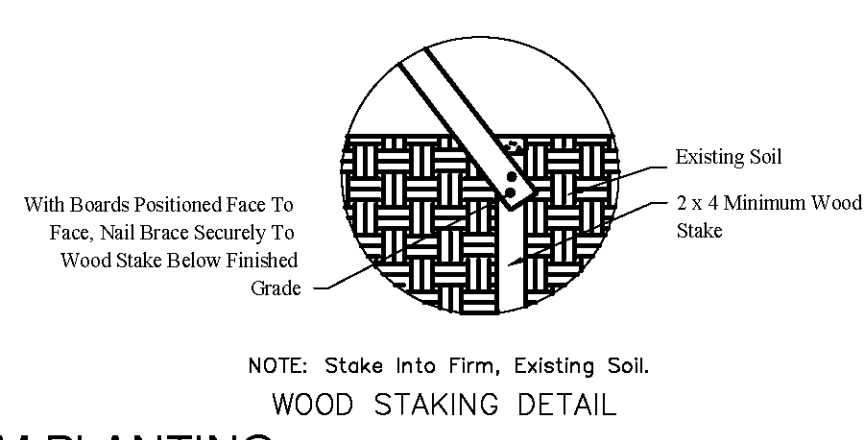
1. The LANDSCAPE CONTRACTOR is responsible for verifying project site conditions and all quantities indicated on these plans before commencing any work. LANDSCAPE CONTRACTOR shall notify the LANDSCAPE ARCHITECT if soil conditions are poorly drained to determine if substitution of materials is necessary.
2. All plant material shall be Florida Grade No. 1 or better nursery grown in accordance to Florida Grades and Standards.
3. All plant material shall be container grown or B&B. B&B materials shall be "hardened off" root pruned during field production and shall be dug at least several weeks before.
4. Plants shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be free of disease, insects, eggs or larvae and shall have healthy, well developed root systems. They shall be free from physical damage or adverse conditions that would prevent thriving growth.
5. Substitution of plant materials will not be permitted unless authorized in writing by the LANDSCAPE ARCHITECT. If proof is submitted that any plant specified in not obtainable, a proposal will be considered for use of the nearest equivalent size or variety with corresponding adjustment of contract price.
6. LANDSCAPE CONTRACTOR shall bear final responsibility for proper surface drainage of planted areas. Any discrepancy in the drawings, obstruction on the site, or prior to work done by any other party, which the CONTRACTOR feels precludes establishing proper drainage shall be brought to the attention of the LANDSCAPE ARCHITECT for correction or relief of said responsibility.
7. Planting beds shall be cut or edged to form a uniform clean line between beds and lawn areas.
8. After all plant material in a plant bed area has been installed and approved, the areas between plants shall be raked to an even grade to conform to pre-mulching finish grades. All planting beds and plant saucers shall then be uniformly covered with a minimum three (3) inches of #2 grade or better of PINE BARK MINI NUGGETS.
9. Before fertilization of a soil and/or foliar nutrient analysis shall be performed to determine whether phosphorus fertilizer with 30% slow release nitrogen will be required. All planting bed areas shall be fertilized.
10. The LANDSCAPE CONTRACTOR is responsible for all fine grading preparation for planting. APPLY PRE-EMERGENT HERBICIDE to beds prior to planting.
11. Rough grades will be established by the owners general contractor at approximately 3 inches below curbs, sidewalks, hardscape amenities, mowing strips and abutments. All materials shall be a minimum 30" from buildings or walks.
12. The LANDSCAPE CONTRACTOR is responsible for fully maintaining all plant material on site during and after planting, until the work is accepted by the LANDSCAPE ARCHITECT and/or owner.
13. The LANDSCAPE ARCHITECT, owner or owners representative shall have the right to reject any and all work which in his opinion does not meet with the requirements of the specifications at any stage of the project operation.
14. There will be special care to all existing trees to be retained on site to avoid construction damage.
15. Plant material soil shall be "native" soil that was removed from the planting hole. If soil is badly contaminated, good quality soil shall be used as replacement after contaminated soil has been completely removed from planting area.
16. Sod shall be laid end to end and side to side in a staggered line to form a uniform layer. All uneven edges shall be squarely trimmed to allow close and firm fitting of each piece.
17. Sod all disturbed areas within silt fence. Sod shall be ARGENTINE BAHIAGRASS. Grass for sodding shall be freshly cut in squares one foot wide by two feet long. Sod shall be healthy, free of insects and weeds, in naturally flourishing conditions. Dry, brown and unfresh sod will be rejected. A. Prior to rolling sod spread a 1" layer of debris and weed free sand to sod surface. Roll freshly laid sod using a lightweight turf roller. Provide a true and even surface without any displacement of the sod or deformation. Where sodding on slopes, stagger the setting of the sod pieces to avoid a continuous seam along the line of flow. Tamp the outer pieces of sod to produce a featheredge effect. Peg sod at locations where the sod may slide. Drive pegs through sod blocks into firm earth, at intervals approved by the Engineer. Remove any sod as directed by the Engineer.
18. After sodding is completed, the entire areas shall be watered by hand or irrigation system each day for two weeks. After approximately one month of installation, sodded areas shall then be top dressed with a 15-0-15 commercial slow-release fertilizer at a rate of 6.67 pounds per 1,000 square feet of area in an evenly broad-case pattern.
19. All plants shall be guaranteed by the LANDSCAPE CONTRACTOR to be healthy plants and in flourishing condition of active growth for ninety (90) days from final inspection and acceptance. All trees shall be guaranteed an additional one year from final inspection and acceptance.



**PALM PLANTING**  
FOR UP TO 24' CLEAR TRUNK



**WOOD BATTEN DETAIL**



**WOOD STAKING DETAIL**

NO.	DATE	PER S/C COMMENTS	REVISIONS
1	6-23-23		DESCRIPTION

**ATTACHMENT 3**  
**ORDINANCE 1987-1**

INTRODUCED BY COMMISSIONER: BRUBAKER

AN ORDINANCE OF THE COUNTY OF ST. JOHNS, STATE OF FLORIDA, REZONING LANDS AS DESCRIBED HEREINAFTER FROM THE PRESENT ZONING CLASSIFICATION OF CG, CHT AND IW WITH CERTAIN CONDITIONS TO CG, CHT AND IW WITH CERTAIN CONDITIONS; REQUIRING RECORDATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, CHARLES R. USINA filed application for change of zoning on lands hereinafter described, and after required notice was published, a public hearing was held on January 6, 1987 at 10:00 A.M. on said application; and,

WHEREAS, the BOARD OF COUNTY COMMISSIONERS OF ST. JOHNS COUNTY, FLORIDA, found, as to the requested rezoning classification of CG, CHT, and IW as follows: (a) the proposed rezoning promotes the public welfare and complements the St. Johns County Comprehensive Plan; (b) the requested change of zoning is justifiable or fairly debatable without special conditions; (c) the proposed rezoning is desirable at this time and in this general location; (d) prior to the enactment of this Ordinance and in the interest of the public health, safety and general welfare, and without promise, prerequisite, or inducement to the enactment of this Ordinance, applicants agreed to limit their use of said lands and have consented to restrictions or limitations on the applied for rezoning of CG, CHT, and IW as hereinafter provided; and (e) such restrictions or limitations are for the benefit of the general public and not just the applicants, and they are reasonable and nondiscriminating.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF ST. JOHNS COUNTY, FLORIDA:

Section 1. Pursuant to the application of CHARLES R. USINA, zoning classification of CG, CHT AND IW with certain conditions on the following described lands:

DESCRIPTION - INTERSTATE INDUSTRIAL PARK AREA PROPERTY TO BE ZONED CHT

A parcel of land in Sections 6 and 7, Township 7 South, Range 29 East, St. Johns County, Florida, containing 12.3465 acres, more or less, and being more fully described as follows:

Commencing at the intersection of the centerline of Interstate Route 95 with the centerline of State Road No. 208; thence North 73 degrees 56 minutes West on said centerline of State Road No. 208, a distance of 1,416.66 feet; thence South 16 degrees 04 minutes West 50.00 feet to the Point of Beginning at the Northwest corner of the herein described parcel of land on the Southerly right of way line of said State Road No. 208; thence South 73 degrees 56 minutes East on said right of way line, 165.27 feet; thence South 3 degrees 12 minutes East on the West line of Government Lot 9 of said Section 6, a distance of 105.38 feet; thence South 16 degrees 04 minutes West 100.52 feet; thence South 73 degrees 56 minutes East 35.14 feet; thence South 3 degrees 12 minutes East, on said West line of Government Lot 9, 120.70 feet; thence North 84 degrees 09 minutes 32 seconds East, on the South line of said Section 6, a distance of 80.88 feet; thence South 16 degrees 04 minutes West, on the

Westerly line of that land described in deed recorded in Official Records Book 116, page 464, public records of said county, 359.24 feet; thence South 73 degrees 56 minutes East, on the Southerly line of those lands described in deed recorded in Official Records Book 116, page 464, and Official Records Book 95, page 369 of said public records, a distance of 362.14 feet to a point designated as Point "A", thence South 16 degrees 07 minutes 54 seconds West 497.88 feet; thence North 73 degrees 52 minutes 06 seconds West 711.62 feet; thence North 16 degrees 04 minutes East 1,140.08 to the Point of Beginning.

DESCRIPTION - INTERSTATE INDUSTRIAL PARK AREA PROPERTY TO BE ZONED CHT

- Parcel B

A parcel of land in Section 7 and 8, Township 7 South, range 29 East, St. Johns County, Florida containing 6.9879 acres, more or less, and being more fully described as follows:

Commence at Point "A" in description of Parcel A above; thence South 73 degrees 56 minutes East on the Southerly line of those lands described in deed recorded in Official Records Book 116, page 464 and Official Records Book 95, Page 369 of public records of St. Johns County, a distance of 437.50 feet to the Point of Beginning; thence continue South 73 degrees 56 minutes East 383.61 feet; thence South 27 degrees 10 minutes 38 seconds East, on the Westerly right of way line of "ramp B" to said Interstate 95, a distance of 473.21 feet; thence South 14 degrees 35 minutes 20 seconds East, on the Westerly right of way line of Interstate 95, a distance of 179.70 feet; thence North 73 degrees 52 minutes 06 seconds West 800.00 feet; thence North 16 degrees 07 minutes 54 seconds East 498.38 feet to the Point of Beginning.

DESCRIPTION - INTERSTATE INDUSTRIAL PARK AREA PROPERTY TO BE ZONED IW.

A parcel of land in Section 7 and 8, Township 7 South, Range 29 East, St. Johns County, Florida, containing 172.9890 acres, more or less, and being more fully described as follows:

Commencing at the intersection of the centerline of Interstate Route 95 with the centerline of State Road No. 16 (also centerline of State Road No. 208); thence South 14 degrees 35 minutes 20 seconds East, on said centerline of Interstate Route 95, a distance of 1,117.49 feet to Station 8229 plus 20.45 on centerline of survey for said Interstate Route; thence South 75 degrees 24 minutes 40 seconds West 150.00 feet to an angle point on the Westerly right of way line of said Interstate Route; thence South 14 degrees 35 minutes 20 seconds East, on said right of way line parallel with and 150 feet Westerly from said centerline of Interstate Route, 179.70 feet to the Point of Beginning at the Northeast corner of the herein described parcel of land; thence continuing South 14 degrees 35 minutes 20 seconds East, on said right of way line 3,855.45 feet, thence North 73 degrees 56 minutes West 185.99 feet to the Southwest corner of that parcel of land described in deed recorded in Official Records Book 615, page 366, public records of said county; thence North 14 degrees 35 minutes 20 seconds West, on the Easterly line of said land described in Official Records book 615, page 366, a distance of 1,236.89 feet; thence North 73 degrees 56 minutes West, on the North line of said land described in Official Records Book 615, page 366, a distance of 1,559.69 feet; thence South 16 degrees 04 minutes West, on the Westerly line of said land described in Official Records Book 615, page 366, a distance of 1,064.03 feet; thence North 73 degrees 56 minutes West 46.24 feet; thence North 29 degrees 22 minutes 18 seconds West 227.30 feet; thence North 40 degrees 34 minutes 26 seconds West 484.97 feet; thence North 9 degrees 01 minutes 26 seconds West 1,072.23 feet; thence North 56 degrees 23 minutes 42 seconds West 471.02 feet; thence North 41 degrees 20

minutes 33 seconds West 61.17 feet; thence North 16 degrees 04 minutes East 1,449.77 feet; thence South 73 degrees 52 minutes 06 seconds East 711.62 feet; thence North 16 degrees 07 minutes 54 seconds West 497.88 feet; thence South 73 degrees 56 minutes East 437.50 feet; thence South 16 degrees 07 minutes 54 seconds West 498.38 feet; thence South 73 degrees 52 minutes 06 seconds West 800.00 feet to the Point of Beginning.

DESCRIPTION - INTERSTATE INDUSTRIAL PARK AREA PROPERTY TO BE ZONED CG

A parcel of land in Sections 6 and 7, Township 7 South, Range 29 East, St. Johns County, Florida, containing 11.5490 acres more or less and being more fully described as follows:

Commencing at the intersection of the center line of Interstate Route 95 with the centerline of State Road No. 208; thence North 73 degrees 56 minutes West, on said center line of State Road No. 208, a distance of 1,516.66 feet; thence South 16 degrees 04 minutes West 33.00 feet to the point of beginning on the Southerly right of way line of said State Road No. 208 at the Northeast corner of the herein described parcel of land; thence continuing south 16 degrees 04 minutes West, on the West line of a 100 foot width road, 1,234.74 feet; thence North 73 degrees 52 minutes 06 seconds West 407.51 feet; thence North 16 degrees 04 minutes East 1,234.27 feet; thence South 73 degrees 56 minutes East, on said southerly right of way line of State Road No. 208, a distance of 407.51 feet to the point of beginning.

is hereby changed to CG, CHT and IW as described above subject to the following conditions:

Property to be rezoned to IW is subject to the following conditions:

(1) Permitted Uses: All permitted uses in the IW classification excluding the following:

(a) Chemical and fertilizer manufacturing, paper pulp manufacturing and petroleum refining and similar uses.

(b) Railroad right-of-way, tracks, sidings and yards.

(2) Uses by Exception: All uses permitted by Exception when approved in conformance with Section 11-9 of the Zoning Code excluding the following:

(a) Junk yards or automotive vehicle wrecking yards.

(b) Bulk storage yards for flammable liquids and acids.

(3) Restrictions on Permitted Uses or Uses by Exception

(a) No use will be permitted requiring use or storage of toxic, hazardous or flammable chemicals without such permits as may be required from time to time by all State and Federal Agencies. St. Johns County shall be furnished copies of all permits issued. In addition, St. Johns County Fire Service shall be furnished with copies of all Material Safety Data Sheets, for its use in fire prevention and safety related programs, if requested by the St. Johns County Fire Department. All storage and use of Flammable and Combustible Liquids shall comply with the latest National Fire Protection Association Publication 30, as adopted by St. Johns County.

(b) All Manufacturing processes shall be conducted within enclosed buildings. No aerial dispersion shall be allowed without such permits as may be required from time to time by State and Federal permits. St. Johns County shall be furnished copies of all permits issued.

(c) Processes producing noise shall be controlled by proper sound barriers so that the sound levels at the boundary of each parcel do not exceed the following levels:

Land use/zoning of adjacent property at time of construction:	Maximum Sound Pressure -DB(A)	
	7 AM-10PM	10 PM-7AM
Hospital	55	55
Residential	60	55
Commercial	65	60
Manufacturing/Industrial/Agricultural	75	70

FOR ALL CATEGORIES LISTED ABOVE, THE MAXIMUM SOUND LEVEL FOR A SINGLE INCIDENT SHALL NOT EXCEED THE ABOVE VALUE BY MORE THAN 20 DB(A).

(4) Building Setbacks and Site Coverage:

(a) All buildings shall maintain the following minimum setbacks from property lines:

Front yard - 25'

Side yard - 20'

Rear yard - 10'

(b) Building site coverage shall not exceed 50% of the total building site area.

(5) Waste Disposal:

(a) All trash and solid wastes shall be removed on a timely basis and properly disposed of off site.

(b) Any chemical/petroleum wastes shall be treated and/or disposed of in a manner as may be required from time to time by all applicable State and Federal Standards.

(c) Solid waste pick up containers shall be placed on easily accessible concrete pads and be properly screened from public view.

(6) Installation and Maintenance of Common Areas/Facilities:

Any common areas/facilities including lighting and signage within the industrial park shall be installed in conformance with County criteria and shall be properly maintained by the site developers or property owners association should such an association be formed.

(7) Site Plan Review:

(a) Prior to land clearing or issuance of any construction permits within the subject tract, site plan approval by the Planning and Zoning Agency shall be required.

(b) Site plan approval shall be conditioned upon compliance with all applicable zoning and land development regulations and standards, including signage and lighting, in effect at the time of site plan submission.

(c) Pro-rata transportation/signalization assessments and/or improvements may be required of individual site developers to mitigate traffic impacts generated on site as well as off site in the corridor between Agricultural Center Road and Highway S.R. 16.

(d) Natural or landscaped buffering may be required by the Planning and Zoning Agency where deemed appropriate to provide reasonable protection between adjacent uses.

(8) Deviation From Conditions:

Deviation or exceptions to the above established conditions may be requested and processed in conformance with the provision of either Article 8 or Article 8-A Planned Special Development of the Zoning Code, dependant on the size of the proposed development. Property to be rezoned to CG and or CHT is subject to the following conditions:

(1) Site Plan Review:

(a) Prior to land clearing or issuance of any construction permits within the subject tract, site plan approval by the Planning and Zoning Agency shall be required.

(b) Site plan approval shall be conditioned upon compliance with all applicable zoning and land development regulations and standards including signage and lighting, in effect at the time of site plan submission.

(c) Pro-rata transportation/signalization assessments and or improvements may be required of individual site developers to mitigate traffic impacts generated on site as well as off site in the corridor between Agricultural Center Road and Highway S.R.16.

(d) Natural or landscaped buffering may be required by the Planning and Zoning Agency where deemed appropriate to provide reasonable protection between adjacent uses.

which conditions shall remain in full force and effect at all times until amended or changed by further ordinance of this Body.

SECTION 2. Nothing herein contained shall be deemed to impose conditions, limitations, or requirements not applicable to all other land in the zoning district wherein said lands are located, except as provided in Section 1 above.

SECTION 3. The Zoning official is authorized to issue zoning clearances as allowed by classification as rezoned and conditioned hereby.

SECTION 4. This Ordinance shall take effect immediately upon receipt of official acknowledgement from the Office of the Secretary of State to the Clerk of the Board of County Commissioners that same has been filed.

SECTION 5. This Ordinance shall be recorded by the Clerk of the Board of County Commissioners of St. Johns County, Florida, in the official public records of St. Johns County, Florida, and indexed under the names of the property owners described on page one hereof.

SECTION 6. St. Johns County Ordinance 86-81 is hereby  
rescinded.

PASSED this 6th day of January, 1987.

BOARD OF COUNTY COMMISSIONERS  
OF ST. JOHNS COUNTY, FLORIDA

BY: Phillip L. Lydon  
Chairman

ATTEST: CARL "BUD" MARKEL, CLERK

BY: Cheryl Kent  
Deputy Clerk

Adopted Special meeting 01/06/87  
Effective 01/12/87

ORDINANCE BOOK 8 PAGE 6



**The St. Augustine Record**  
 PUBLISHED EVERY AFTERNOON EXCEPT SUNDAY  
 ST. AUGUSTINE AND ST. JOHNS COUNTY, FLORIDA

STATE OF FLORIDA, }  
 COUNTY OF ST. JOHNS }

Before the undersigned authority personally appeared \_\_\_\_\_  
Paula M. Freeman who on oath says that he is  
Classified Advertising Manager of the St. Augustine Record, a  
 daily newspaper published at St. Augustine in St. Johns County, Florida;  
 that the attached copy of advertisement, being a \_\_\_\_\_  
Notice of Public Hearing  
 \_\_\_\_\_ in the matter of \_\_\_\_\_  
Proposed Changes to an Ordinance for the Rezoning of Lands  
 \_\_\_\_\_ in the \_\_\_\_\_ Court,  
 was published in said newspaper in the issues of \_\_\_\_\_  
December 1, 1986

Affiant further says that the St. Augustine Record is a newspaper  
 published at St. Augustine, in said St. Johns County, Florida, and that the  
 said newspaper has heretofore been continuously published in said St.  
 Johns County, Florida, each day, except Sundays, and has been entered  
 as second class mail matter at the post office in the City of St. Augustine,  
 in said St. Johns County, Florida, for a period of one year next preceding  
 the first publication of the attached copy of advertisement; and affiant  
 further says that he has neither paid nor promised any person, firm or  
 corporation any discount, rebate, commission or refund for the purpose  
 of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before me  
 this 2nd day of December \_\_\_\_\_  
 A.D. 19 86  
John A. Jones  
 (SEAL) Notary Public

Notary Public, State of Florida  
 My Commission Expires Aug. 4, 1989  
 Located 1141 Troy Fair - Leeswood, Ind

**NOTICE OF PUBLIC HEARING**  
**ON PROPOSED CHANGES TO AN ORDINANCE FOR THE REZONING OF LANDS**  
 NOTICE IS HEREBY GIVEN THAT THE PUBLIC HEARINGS WILL BE HELD BY THE PLANNING AND ZONING AGENCY AND THE BOARD OF COUNTY COMMISSIONERS OF ST. JOHNS COUNTY, FLORIDA, TO CONSIDER AMENDMENTS TO CONDITIONS OF REZONING ORDINANCE NUMBER 86-41. Said Ordinance rezoned lands from OR, Open Rural to CG, Commercial General, CHT, Commercial Highway Tourist, and IW, Industrial Warehousing with certain conditions. The St. Johns County Boards will consider changes to paragraphs concerning storage or use of certain materials and operations or uses outside the structures.  
 Said rezoning is of the following described lands:  
**EXHIBIT A**  
**DESCRIPTION - INTERSTATE INDUSTRIAL PARK AREA PROPERTY TO BE ZONED CHT.**  
 A parcel of land in Sections 6 and 7, Township 7 South, Range 29 East, St. Johns County, Florida, containing 12.9465 acres, more or less, and being more fully described as follows:  
 Commencing at the intersection of the centerline of Interstate route 95 with the centerline of State road No. 208; thence North 73 degrees 56 minutes West on said centerline of State Road No. 208, a distance of 1,416.66 feet; thence South 16 degrees 04 minutes West 50.00 feet to the Point of Beginning at the Northwest corner of the herein described parcel of land on the Southerly right of way line of said State Road No. 208; thence South 73 degrees 56 minutes East on said right of way line, 165.27 feet; thence South 3 degrees 12 minutes East on the West line of government Lot 9 of said Section 6, a distance of 105.38 feet; thence South 16 degrees 04 minutes West 100.52 feet; thence South 73 degrees 56 minutes East 35.14 feet; thence South 3 degrees 12 minutes East, on said West line of Government Lot 9, 120.70 feet; thence North 84 degrees 09 minutes 32 seconds East, on the South line of said Section 6, a distance of 80.88 feet; thence South 16 degrees 04 minutes West, on the Westerly line of that land described in deed recorded in Official Records Book 116, page 464, public records of said county, 359.24 feet; thence South 73 degrees 56 minutes East, on the Southerly line of those lands described in deed recorded in Official Records Book 116, page 464, and Official Records Book 95, page 369 of said public records, a distance of 362.14 feet to a point designated as Point "A"; thence South 16 degrees 07 minutes 54 seconds West 497.88 feet; thence North 73 degrees 52 minutes 06 seconds West 711.62 feet; thence North 16 degrees 04 minutes East 1,140.08 feet to the Point of Beginning.  
**DESCRIPTION - INTERSTATE INDUSTRIAL PARK AREA PROPERTY - Parcel B**  
 A Parcel of land in Sections 7 and 8, Township 7 South, Range 29 East, St. Johns County, Florida containing 6.9679 acres, more or less, and being more fully described as follows:  
 Commence at Point "A" in description of Parcel A above; thence South 73 degrees 56 minutes East on the Southerly line of those lands described in deed recorded in Official Records book 116, page 464 and Official Records book 95, Page 369 of public records of St. Johns County, a distance of 471.59 feet to the Point of Beginning; thence continue South 73 degrees 56 minutes East 383.61 feet; thence South 27 degrees 10 minutes 38 seconds East, on the Westerly right of way line of "ramp B" to said Interstate 95, a distance of 473.21 feet; thence South 14 degrees 35 minutes 20 seconds East, on the Westerly right of way line of Interstate 95, a distance of 179.70 feet; thence North 73 degrees 52 minutes 06 seconds West 800.00 feet; thence North 16 degrees 07 minutes 54 seconds East 496.38 feet to the Point of Beginning.  
**DESCRIPTION - INTERSTATE INDUSTRIAL PARK AREA PROPERTY TO BE ZONED IW.**

NT

A parcel of land in Section 7 and 8, Township 7 South, Range 29 East, St. Johns County, Florida, containing 172,990 acres, more or less, and being more fully described as follows:

Commencing at the intersection of the centerline of Interstate Route 95 with the centerline of State Road No. 16 (also centerline of State Road No. 208); thence South 14 degrees 35 minutes 20 seconds East, on said centerline of Interstate Route 95, a distance of 1,117.49 feet to Station 8229 plus 20.45 on centerline of survey for said Interstate Route; thence South 75 degrees 24 minutes 40 seconds West 150.00 feet to an angle point on the Westerly right of way line of said Interstate Route; thence South 14 degrees 35 minutes 20 seconds East, on said right of way line parallel with and 150 feet Westerly from said centerline of Interstate Route, 179.70 feet to the Point of Beginning at the Northeast corner of the herein described parcel of land; thence continuing South 14 degrees 35 minutes 20 seconds East, on said right of way line 3,855.45 feet; thence North 73 degrees 56 minutes West 185.99 feet to the Southwest corner of that parcel of land described in deed recorded in Official Records Book 615, page 366, public records of said county; thence North 14 degrees 35 minutes 20 seconds West, on the Easterly line of said land described in Official Records Book 615, page 366, a distance of 1,236.89 feet; thence North 73 degrees 56 minutes West, on the North line of said land described in Official Records Book 615, page 366, a distance of 1,359.69 feet; thence South 16 degrees 04 minutes West, on the Westerly line of said land described in Official Records Book 615, page 366, a distance of 1,064.03 feet; thence North 73 degrees 56 minutes West 46.24 feet; thence North 29 degrees 22 minutes 18 seconds West 227.30 feet; thence North 40 degrees 34 minutes 26 seconds West 484.97 feet; thence North 9 degrees 26 minutes 01 seconds West 1,072.23 feet; thence North 56 degrees 23 minutes 42 seconds West 471.02 feet; thence North 47 degrees 29 minutes 33 seconds West 619.67 feet; thence North 16 degrees 04 minutes East 1,449.77 feet; thence South 73 degrees 52 minutes 05 seconds East 711.02 feet; thence North 16 degrees 07 minutes 54 seconds West 497.08 feet; thence South 73 degrees 56 minutes East 437.50 feet; thence South 16 degrees 07 minutes 54 seconds West 498.38 feet; thence South 73 degrees 52 minutes 05 seconds West 800.00 feet to the Point of Beginning.

**DESCRIPTION - INTERSTATE INDUSTRIAL PARK AREA PROPERTY TO BE ZONED C6**

A parcel of land in Sections 6 and 7, Township 7 South, Range 29 East, St. Johns County, Florida, containing 11,540 acres, more or less, and being more fully described as follows:

Commencing at the intersection of the center line of Interstate Route 95 with the centerline of State Road No. 208; thence North 73 degrees 56 minutes West, on said center line of State Road No. 208, a distance of 1,316.66 feet; thence South 16 degrees 04 minutes West 33.00 feet to the point of beginning on the Southerly right of way line of said State Road 208 at the Northeast corner of the herein described parcel of land; thence continuing south 16 degrees 04 minutes West, on the West line of a 100 foot width road, 1,234.74 feet; thence North 73 degrees 52 minutes 06 seconds West 407.51 feet; thence North 16 degrees 04 minutes East 1,234.27 feet; thence South 73 degrees 56 minutes East, on said southerly right of way line of State Road No. 208, a distance of 407.51 feet to the point of beginning.

Located off CR #208 and I-95 and SR No. 16, Southwest corner of said intersection.

Said hearings to be held in County Administration Building, Lewis Speedway, County Road 16-A, and U.S. #1 North, St. Augustine, Florida, and are to be held as follows: Planning and Zoning Agency: December 18, 1986 at 1:00 p.m. Board of County Commissioners: (Special Meeting) January 6, 1987 at 10:00 a.m.

The application File number: R-86-085 is maintained in the office of Planning and Zoning, County Administration Building, St. Augustine, Florida, and may be examined by parties in interest prior to said public hearings, and all parties in interest shall be granted an opportunity to be heard at said public hearings.

DATED THIS 25 day of November, 1986.

PLANNING AND ZONING AGENCY AND BOARD OF COUNTY COMMISSIONERS

By Rosemary Yeoman, Zoning Clerk

If a person decides to appeal any decision made by the Planning and Zoning Agency or Board of County Commissioners with respect to any matter considered at the meeting or hearing, he will need a record of the proceedings, and for such purpose he may need to ensure that a verbatim record of proceedings is made, and includes the fact and evidence upon which the decision is based.



FLORIDA DEPARTMENT OF STATE  
George Firestone  
Secretary of State

RECEIVED  
ST. JOHNS COUNTY, FLORIDA  
86 JAN 12 A10:10

Dorothy W. Glisson  
Deputy Secretary For Elections

*Carl Bud Markel*  
CLERK, COUNTY COMMISSION

January 8, 1987

Honorable Carl "Bud" Markel  
Clerk of Circuit Court  
St. Johns County Courthouse  
Post Office Drawer 300  
St. Augustine, Florida 32084

Attention: Cheryl Kent, Deputy Clerk

Dear Mr. Markel:

Pursuant to the provisions of Section 125.66, Florida Statutes, this will acknowledge:

1. Receipt of letter/s of January 6, 1987  
and certified copy/ies of St. Johns  
County Ordinance(s) 87-1
2. Receipt of \_\_\_\_\_ County Ordinance(s)  
relative to:  
(a) \_\_\_\_\_  
which we have numbered \_\_\_\_\_  
(b) \_\_\_\_\_  
which we have numbered \_\_\_\_\_
3. We have filed this/~~these~~ Ordinance(s) in this office  
on January 8, 1987.
4. The original/duplicate copy/ies showing the filing  
date is/are being returned for your records.

Cordially,

*Liz Cloud*  
(Mrs.) Liz Cloud, Chief  
Bureau of Administrative Code

LC/mb

DIVISION OF ELECTIONS, Room 1801, The Capitol, Tallahassee, Florida 32301  
(904) 488-7690