



**GROWTH MANAGEMENT DEPARTMENT STAFF REPORT**  
**SOUTH ANASTASIA OVERLAY DISTRICT**  
**January 26, 2023 Public Meeting**  
**SADRB 2022-05 7740 A1A Offbeach Parking**

**To:** South Anastasia Design Review Board  
**Staff:** Sloane Stephens, Planner  
**Date:** January 19, 2023

**Applicant:** Alex Acree  
 Matthews Design Group  
 7 Waldo Street  
 St. Augustine, FL 32084

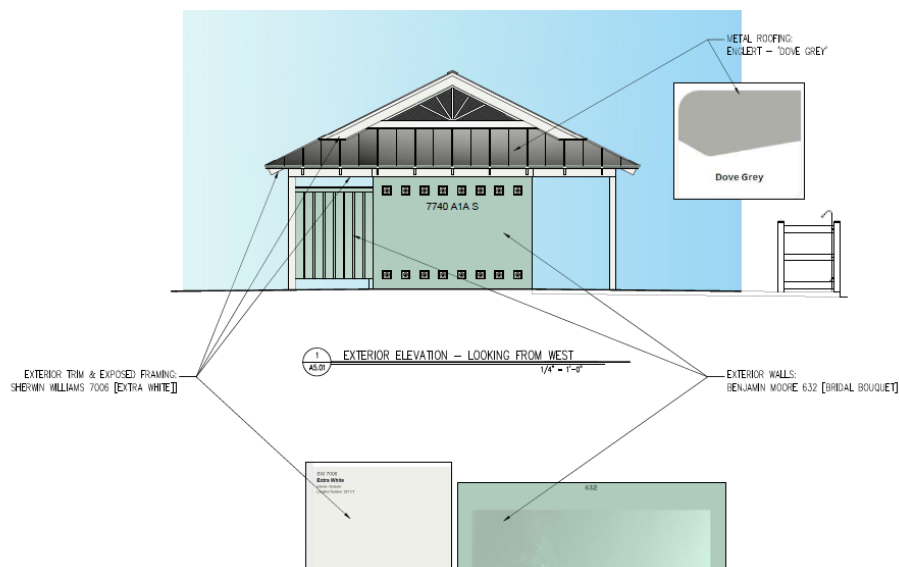
**Location:** 7740 A1A S.  
**FLUM:** Res-B  
**Zoning:** RS-2

**Applicable Land Development Code Regulations:**

[LDC Section 3.07](#) – South Anastasia Overlay District

**Summary of Request:** Applicant is requesting design approval for a proposed St. Johns County park with an associated parking lot and restroom facility with beach access. This review is specifically for the structures proposed for the site: the restroom facility, and the signage. The applicant has been requested to provide physical color/material samples at the hearing to assist in Board review. Staff notes that the proposed site plan meets all setback/buffering requirements for RS-2 zoning in the South Anastasia Overlay District, as well as impervious surface ratio and floor area ratio.

The restroom facility is to be a 23’ x 23’ building to include changing rooms. The exterior walls are proposed to be Benjamin Moore Bridal Bouquet, with Sherwin Williams Extra White exterior trim and exposed framing, and metal roofing in Englert Dove Grey.





Application for Overlay District Review  
 Growth Management Department  
 Planning and Zoning Section  
 4040 Lewis Speedway, St. Augustine, FL 32084  
 Phone: 904.209.0675; Fax: 904.209-0576

Date  Overlay District  Property ID No (Strap)

Applicant  Phone Number

Address  Fax Number

City  State  Zip Code  E-mail

Project Name

Project Address & Location

Type of Review  Commercial Use  Multi-family Use  Other:

The Project Involves  New Building  Changes to an existing Building  Exterior Repainting  Signage (Individual)  
 Check all that apply  Unified Sign Plan  Fences / Walls  Parking / Lighting  Landscaping / Buffers  
 Other:

Describe Project and work proposed to be done (Provide additional information by attachment as needed)

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:  
 Signature of owner or person authorized to represent this application:  
*Alex R. Acree*  
 Signed By \_\_\_\_\_

Printed or typed name(s)

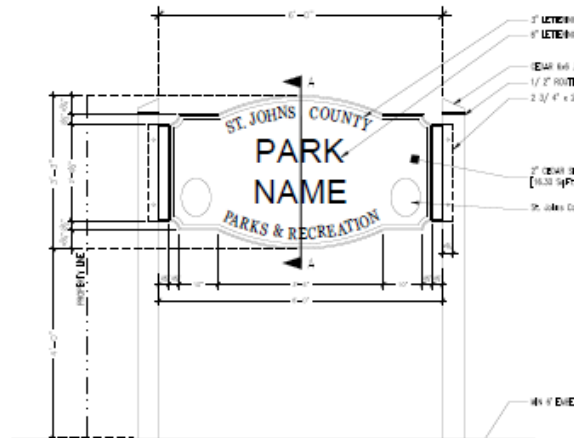
Contact Information of person to receive all correspondence if different than applicant:

Phone Number   Fax Number   E-mail   
 Postal Address  Name   
 City  State  Zip Code

Please notify the Planning and Zoning Section at 904.209.0675 if you need any special assistance or accommodations to attend the meeting or if you have any questions concerning this application.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD:

Staff notes that the signage is proposed to match other St. Johns County park signs that can be seen throughout the county. The only difference will be the park name. Please see attached drawings for proposed sign colors.



**Staff Review**

**Planning Division:** The roof design of the proposed bathroom/changing room structure appears to be consistent with LDC Section 3.07.04.A1. In regards to roof material, LDC Section 3.07.12 states, “Roof shall consist of wood or asphalt composition shingles, barrel tile, clay tile or similar non-reflective finished material having a natural texture and appearance. Metal roofs shall only be allowed where they are characteristic of a recognized architectural style.” The proposed metal roof may be allowed if it is deemed characteristic of the “Old Florida” style. Additionally, the proposed color scheme appears to comply with the architectural design standards in the “Old Florida” style as set forth in LDC Section 3.07.11.

The proposed signage has approximately 18 sf of ADA. This is in compliance with the allowed maximum of 32 sf. Wide-based monument signs are preferred per LDC Section 3.07.09.A, however, alternatives are allowed at the discretion of the DRB.

LDC Section 3.07.04 – Development Standards and Criteria (provided in part)

A. The following general criteria shall apply within the South Anastasia Overlay District:

1. Roof design should generally be of hipped, shed or gable types unless the specific recognized architectural character of the Building suggests a flat roof. Mansard roofs shall be allowed provided they are on all visually exposed sides and the slope does not exceed one to one (1:1).
3. Trash receptacles, dumpsters, utility meters, above-ground tanks, satellite dishes (except as provided by Florida law), Antenna, and other such Structures shall be similarly screened or made not visible.
5. Exterior lighting for safety and security shall be kept to a minimum consistent with reasonable safety requirements of the particular business or Structure. Safety and security lights, other than low-wattage lights or ground-area lights, shall not be directly visible from adjacent residential properties. See additional lighting criteria in Sec. 3.06.13. Lighting criteria for the protection of marine turtles and their hatchlings defined in Section 4.01.09 shall be followed accordingly. The use of solar power should be explored to supply electricity to fixtures.
6. The maximum amount of impervious surface coverage of any site proposed for Development, excluding any jurisdictional Wetlands, shall not exceed sixty-five percent (65%).

LDC Section 3.07.08 – Parking (provided in part)

B. Adequate lighting shall be provided if off-Street parking or loading facilities are to be used at night. The lighting shall be designed and installed to minimize glare on adjacent property. The parking area illumination shall be confined to the parking area, not extending beyond the property line. Bulbs shall be concealed from adjacent properties. See additional criteria in 3.07.13.

LDC Section 3.07.09 – Signage (provided in part)

A. All Ground Signs shall be of a wide-based monument style. Pylon Signs are only permitted when monument style signs cannot be adequately located due to site constraints as determined by the DRB. Signs may be double-faced and shall not create a traffic hazard or endanger the public safety. Where feasible, as determined by the approval authority, all ground signs shall use shrubs that are twenty-four (24) inches at the time of planting around the base of the sign. This must be planted within thirty (30) days of sign permit approval.

C. For Uses occupying five (5) acres or less, the total ground Sign face area shall not exceed thirty-two (32) square feet per Sign face. One (1) sign shall be allowed for each arterial and collector street frontage. The Sign should include the numerical address.

N. Any lighting shall be white in color, unless different lighting is required by the County for purposes of protecting turtles. External lighting must conceal and shield the lighting.

LDC Section 3.07.11 – Architectural Design Standards (provided in part)

The pleasing and compatible relationship of architecture along the South Anastasia Overlay District is of important public concern. The architectural design of Structures and their materials and colors must be visually harmonious with the overall appearance, history and cultural heritage of the communities within the South Anastasia Overlay District, and also with natural land forms and existing vegetation. Compatibility with existing adjacent Structures and other approved development plans must also be considered. The intent of these standards is not to restrain diversity or innovative architecture, but to reduce incompatible and adverse impacts, and to insure an aesthetically pleasing environment. To accomplish this, the following standards shall apply to the review of proposed Buildings, renovations, and related site improvements.

A. Proposed Development shall be located and configured in a visually complementary manner with the existing terrain and vegetation of the Parcel and surrounding Parcels. Structures shall obstruct as little as reasonably practical scenic views from the main road or from existing Structures and the natural environment. Structures shall not dominate, in an incompatible manner, any general Development or adjacent Building which is substantially in compliance with this Code. This may be accomplished by the use of architectural features and/or siting of proposed Structures to reduce the appearance of excessive and inappropriate height or mass of proposed Structures.

B. The proposed Building or Structure shall be of such design that it contributes to the image of the South Anastasia Overlay District as an “Old Florida” style, rural beach community with a pedestrian oriented, non-urban scale to the built environment preserving where possible the native beach and estuarine environments of the area.

LDC Section 3.07.12 – Design Elements and Materials (provided in part)

The following specific design criteria shall apply to Development regulated under the conditions of the South Anastasia Overlay District:

C. Roof shall consist of wood or asphalt composition shingles, barrel tile, clay tile or similar nonreflective finished material having a natural texture and appearance. Metal roofs shall only be allowed where they are characteristic of a recognized architectural style.

D. Exterior walls on all sides shall be stucco, tabby, wood siding or wood shingle siding, brick, exterior insulation-and-finish systems (EIFS) or other materials with similar texture and appearance; unless approved by the DRB.

E. Exterior colors of paints and stains for new Construction or Development which are subdued and nature-blending are preferred with no more than three (3) colors per Building, excluding roof color, unless approved by the DRB. The DRB may also allow up to two (2) additional colors for building accents (i.e. trim, awnings, columns, and shutters). Semi-transparent stains are recommended for application on natural wood finishes. Public art such as murals will not be applicable to the color standards in this paragraph. The design of the mural will not exceed a maximum of fifteen percent (15%) of the façade in which it is located unless otherwise approved by the DRB.

F. Roof and exterior wall surfaces, with the exception of glass doors and windows shall be non-reflective. Any glass coating shall not reflect outward and shall be limited in color to gray or green. No more than forty percent (40%) of the facade facing State Road A1A South shall be glass or reflective material.

LDC Section 3.07.13 – Lighting Criteria (provided in part)

Architectural lighting shall be recessed under roof overhangs or generated from a concealed light source, or low level light fixtures. Site lighting shall be of low-intensity, shall be of white light which does not distort colors and shall not spill over into adjoining properties, roadways or in any way interfere with the vision of oncoming motorists. Specifically, lighting shall be downward facing full cut-off, no higher than twenty (20) feet and shall have a maximum illumination level of 0.30 foot-candles at ground level at the lot line.

Staff review shows there are no open comments on this application. A Pre-application Meeting was not held with the Planning Division. Attached for consideration are:

- Application
- Site Plan
- Exterior Colors/Elevations
- Floor Plan
- Signage Drawings
- Landscape Plan

**CORRESPONDENCE**

Two phone calls were received by nearby residents who were curious about the details of the project. They were provided with information and informed of the public hearing to take place on January 26, 2023 regarding the project.

**SUGGESTED ACTION TO APPROVE**

The Design Review Board may consider a motion to approve **SADRB 2022-05 7740 A1A Offbeach Parking**, as described within the application, provided:

1. The request complies with the St. Johns County Land Development Code relating to design standards and is consistent with the intent and purpose of the South Anastasia Overlay District Regulations.

**SUGGESTED ACTION TO DENY**

The Design Review Board may consider a motion to deny **SADRB 2022-05 7740 A1A Offbeach Parking**, provided:

1. The request does not comply with the St. Johns County Land Development Code; the proposed design standards are not compatible with the purpose and intent of the South Anastasia Overlay District Regulations.

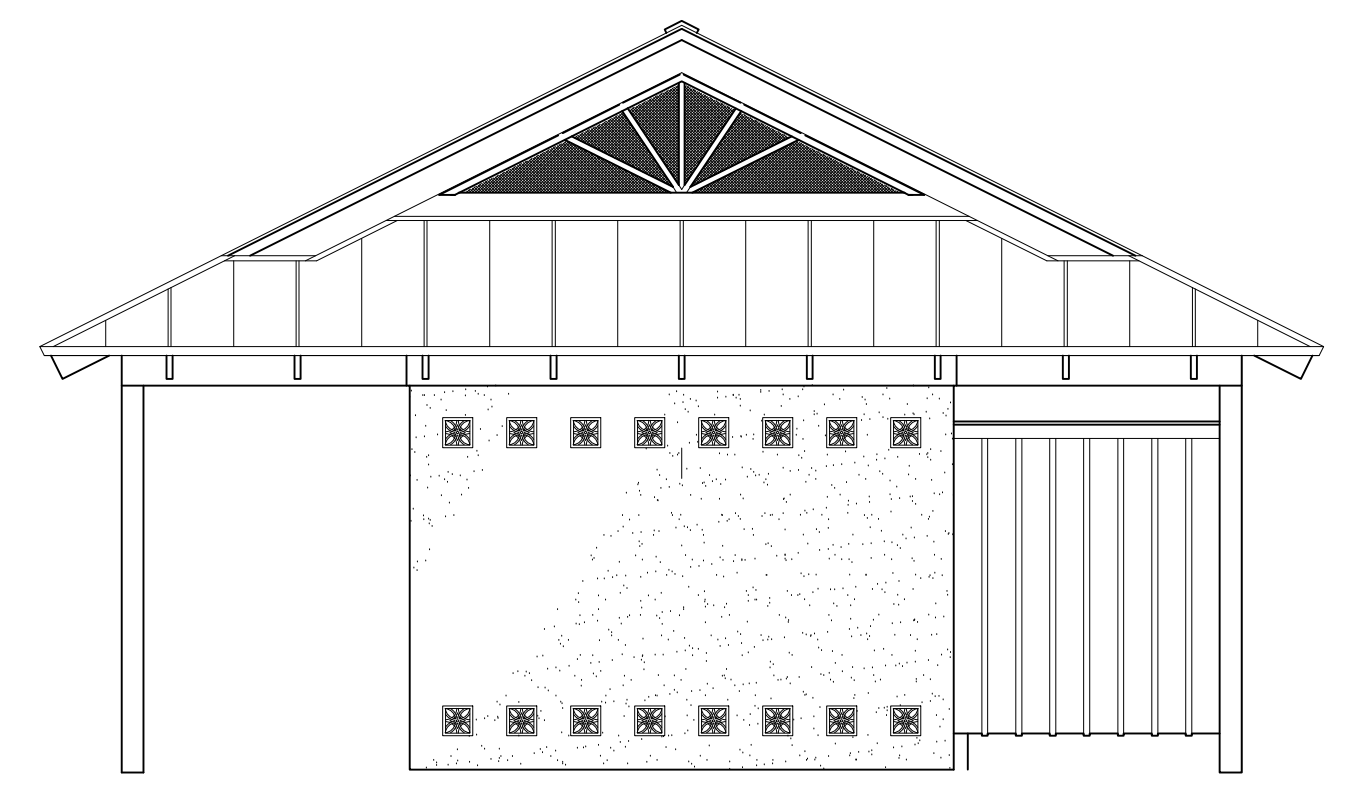
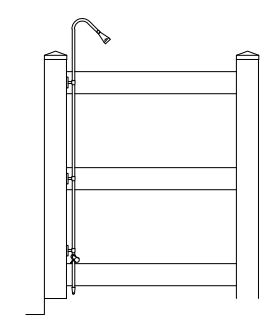




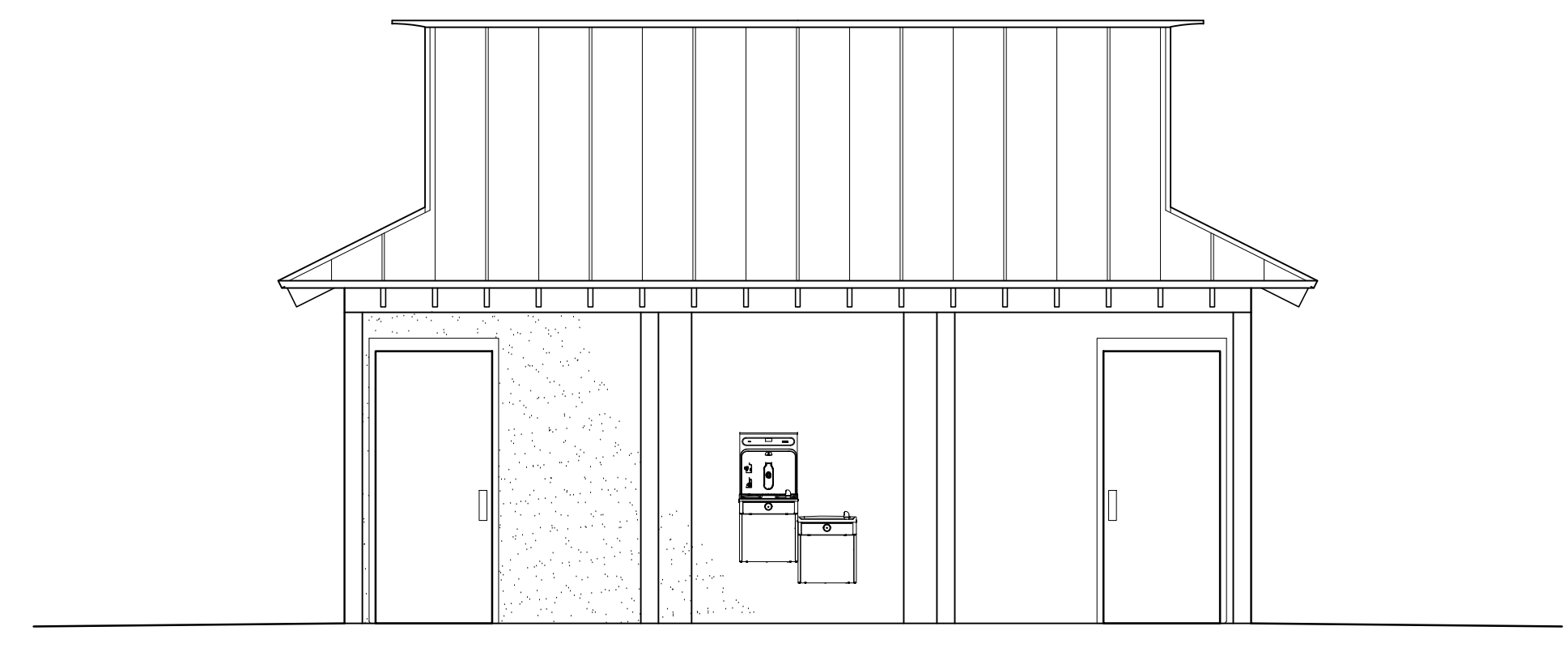


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Fax: 904.367.0008  
Corporate License Number: AA26000982

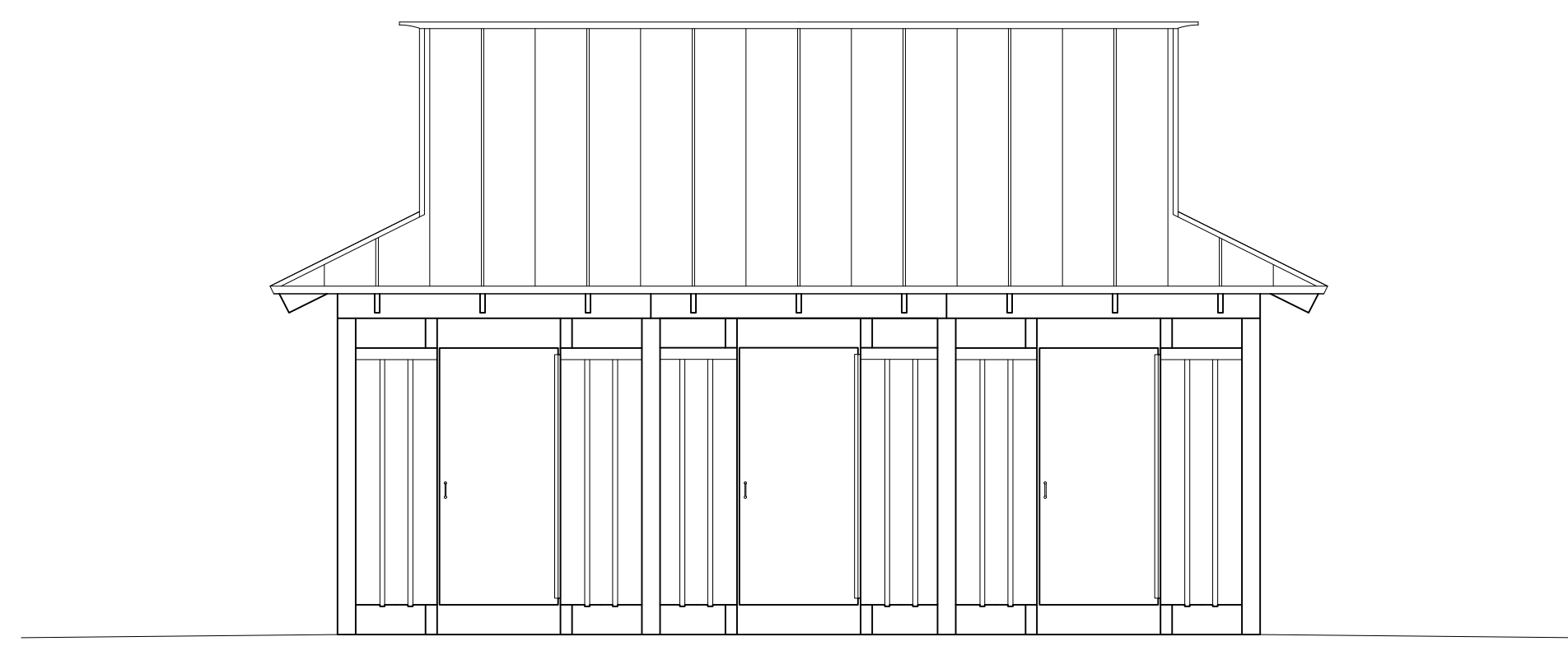
**FISHER KOPPENHAFFER**  
ARCHITECTURE INTERIOR DESIGN  
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Jacksonville, Florida 32256  
Voice: 904.367.0077  
Fax: 904.367.0008  
Corporate License Number: AA26000982



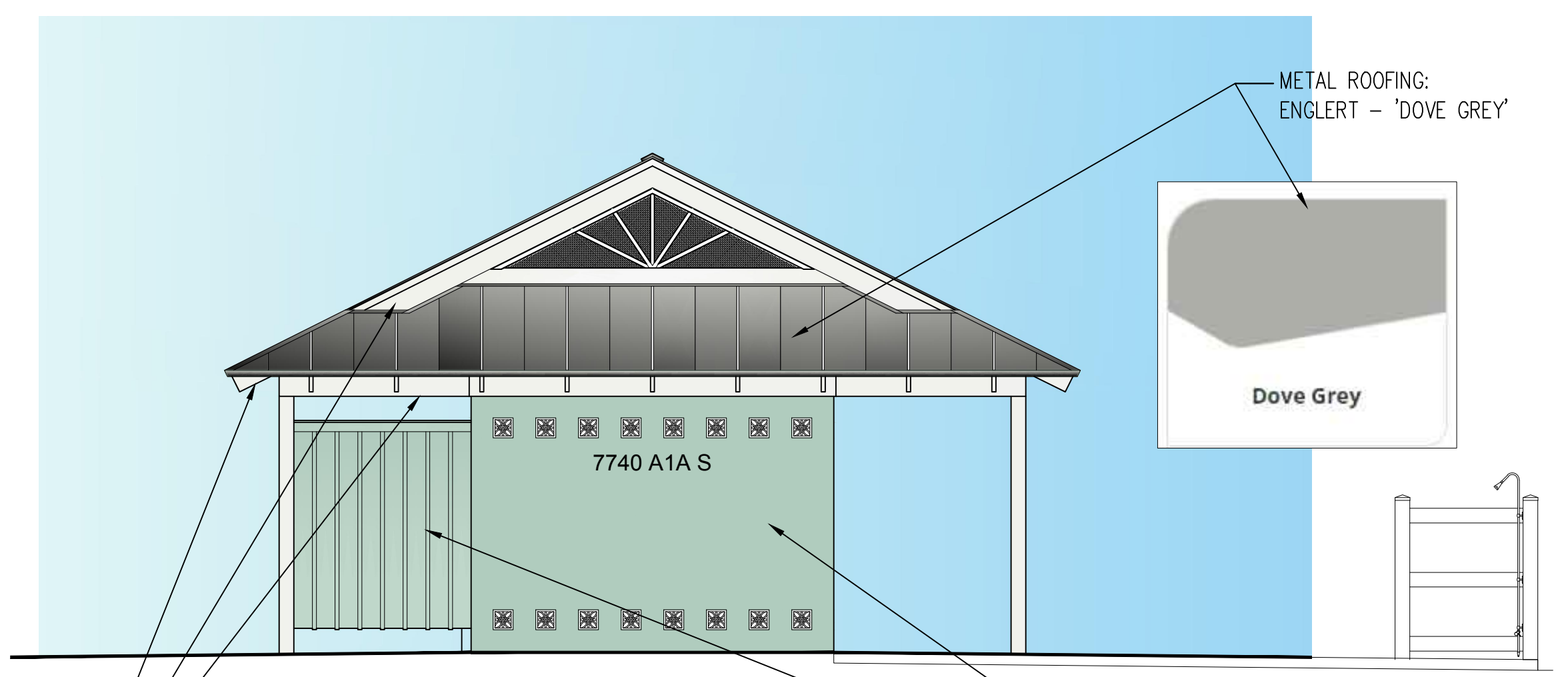
3  
A5.01 EXTERIOR ELEVATION - LOOKING FROM EAST  
1/4" = 1'-0"



4  
A5.01 EXTERIOR ELEVATION - LOOKING FROM SOUTH  
1/4" = 1'-0"



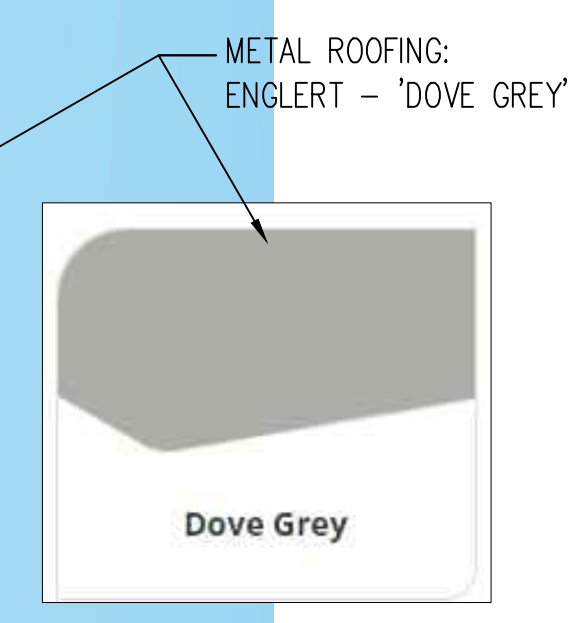
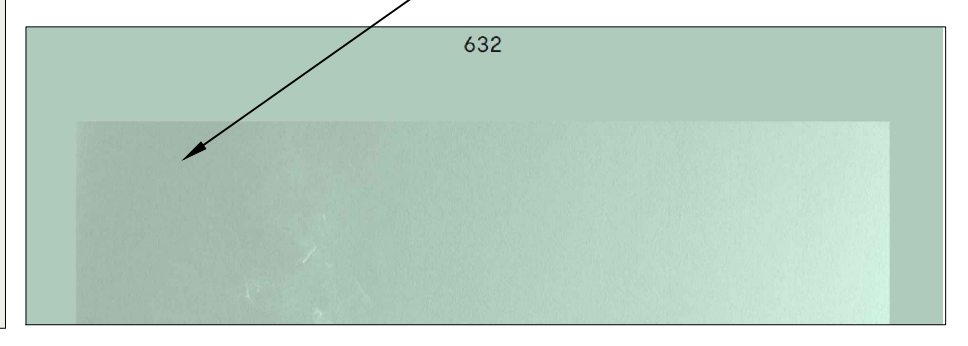
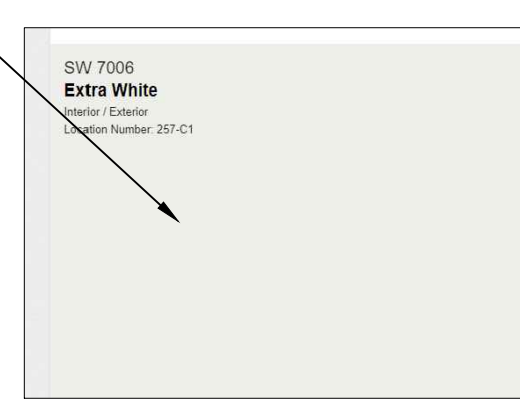
2  
A5.01 EXTERIOR ELEVATION - LOOKING FROM NORTH  
1/4" = 1'-0"



1  
A5.01 EXTERIOR ELEVATION - LOOKING FROM WEST  
1/4" = 1'-0"

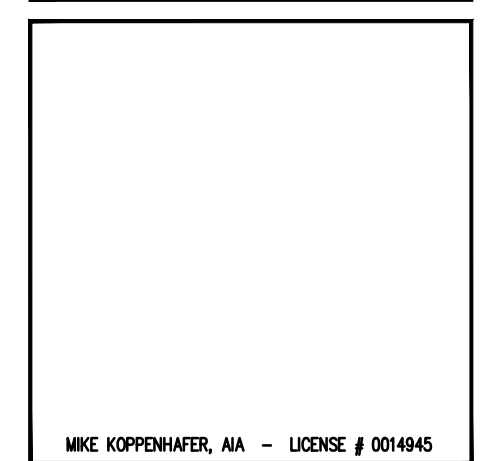
EXTERIOR TRIM & EXPOSED FRAMING:  
SHERWIN WILLIAMS 7006 [EXTRA WHITE]]

EXTERIOR WALLS:  
BENJAMIN MOORE 632 [BRIDAL BOUQUET]



**Dune Walkover  
&  
Off Street Parking**  
St. John's County  
7740 Highway A1A South  
Saint Augustine, Florida 32080

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REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 11/11/2022

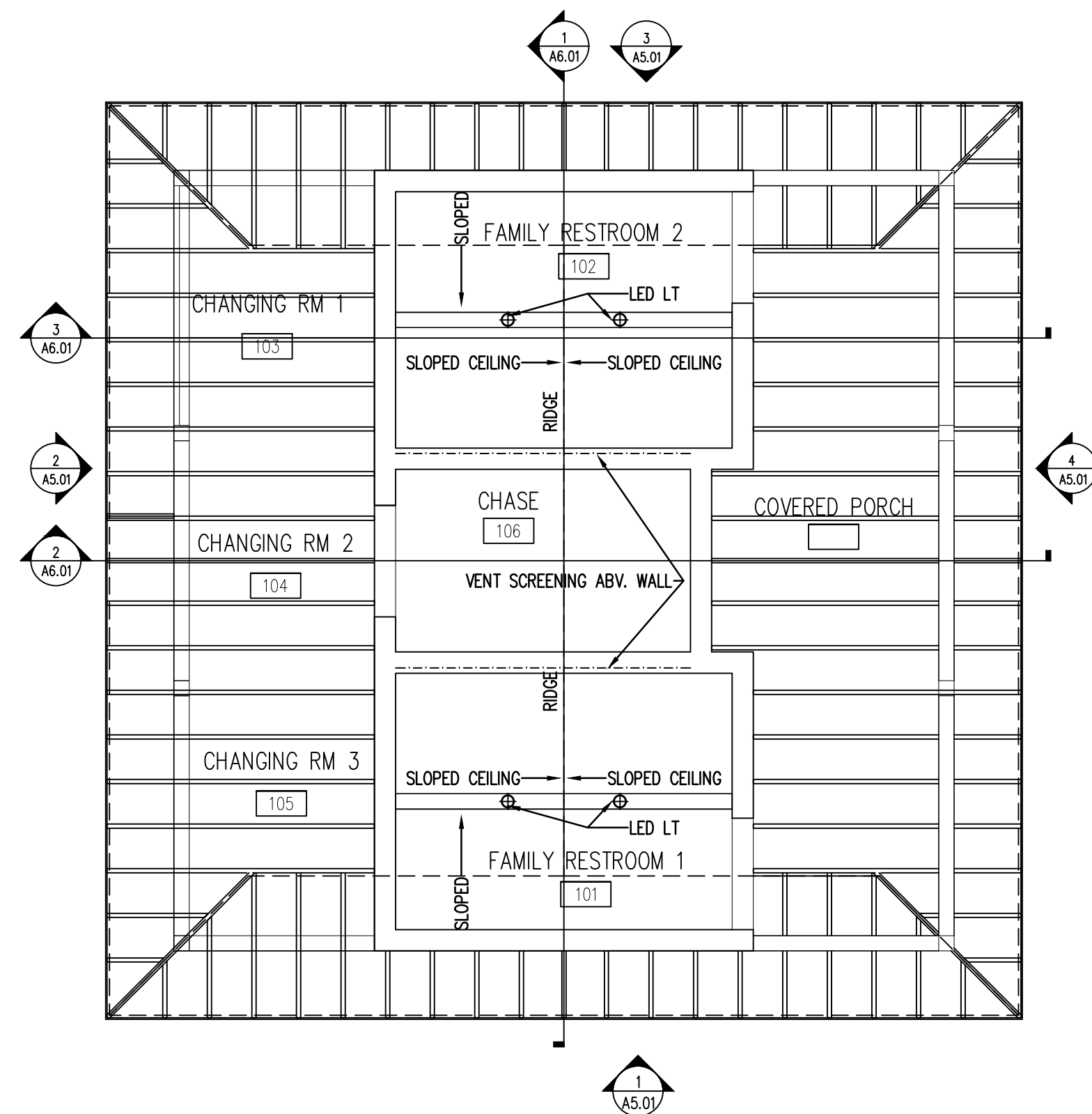
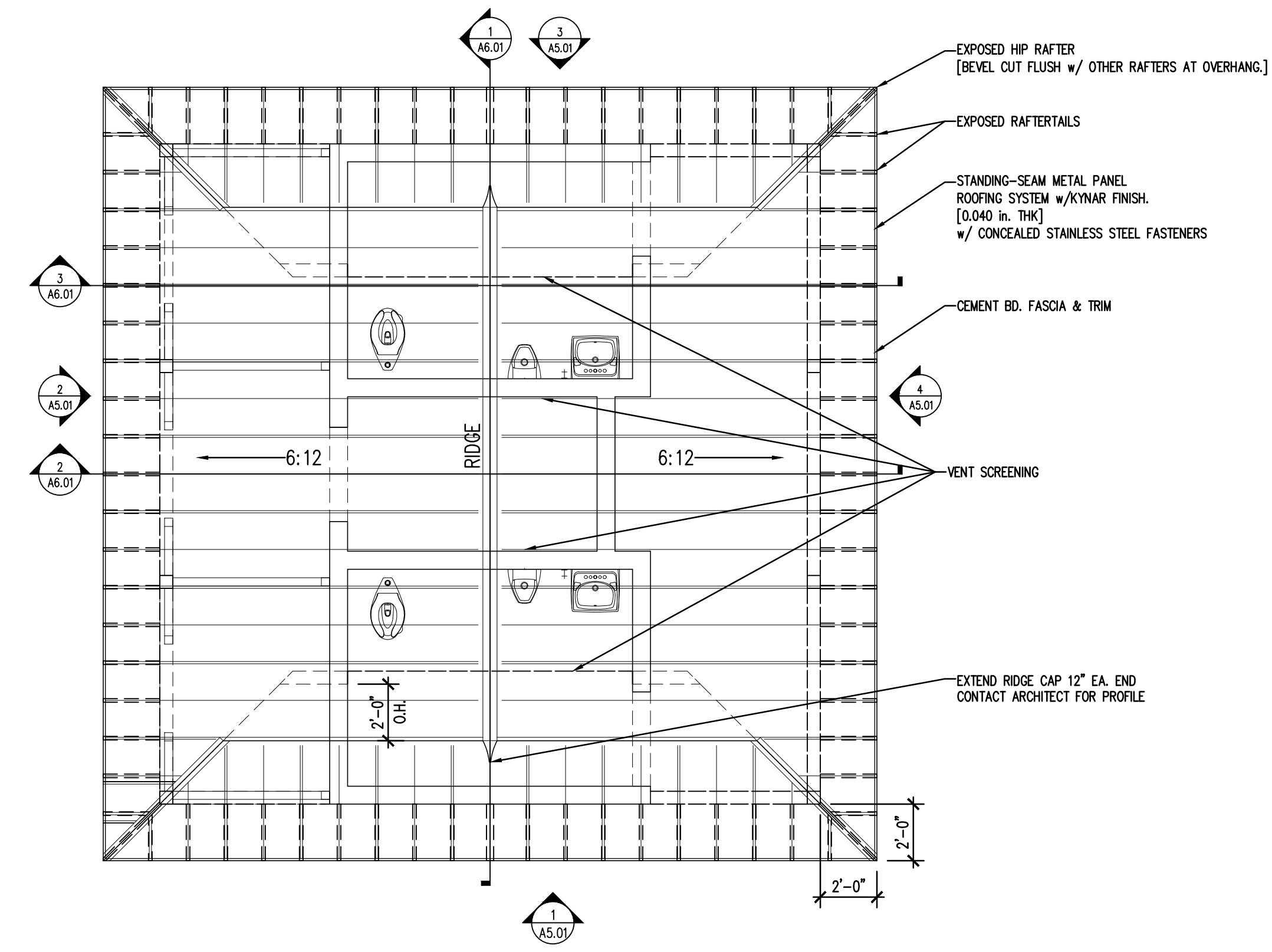
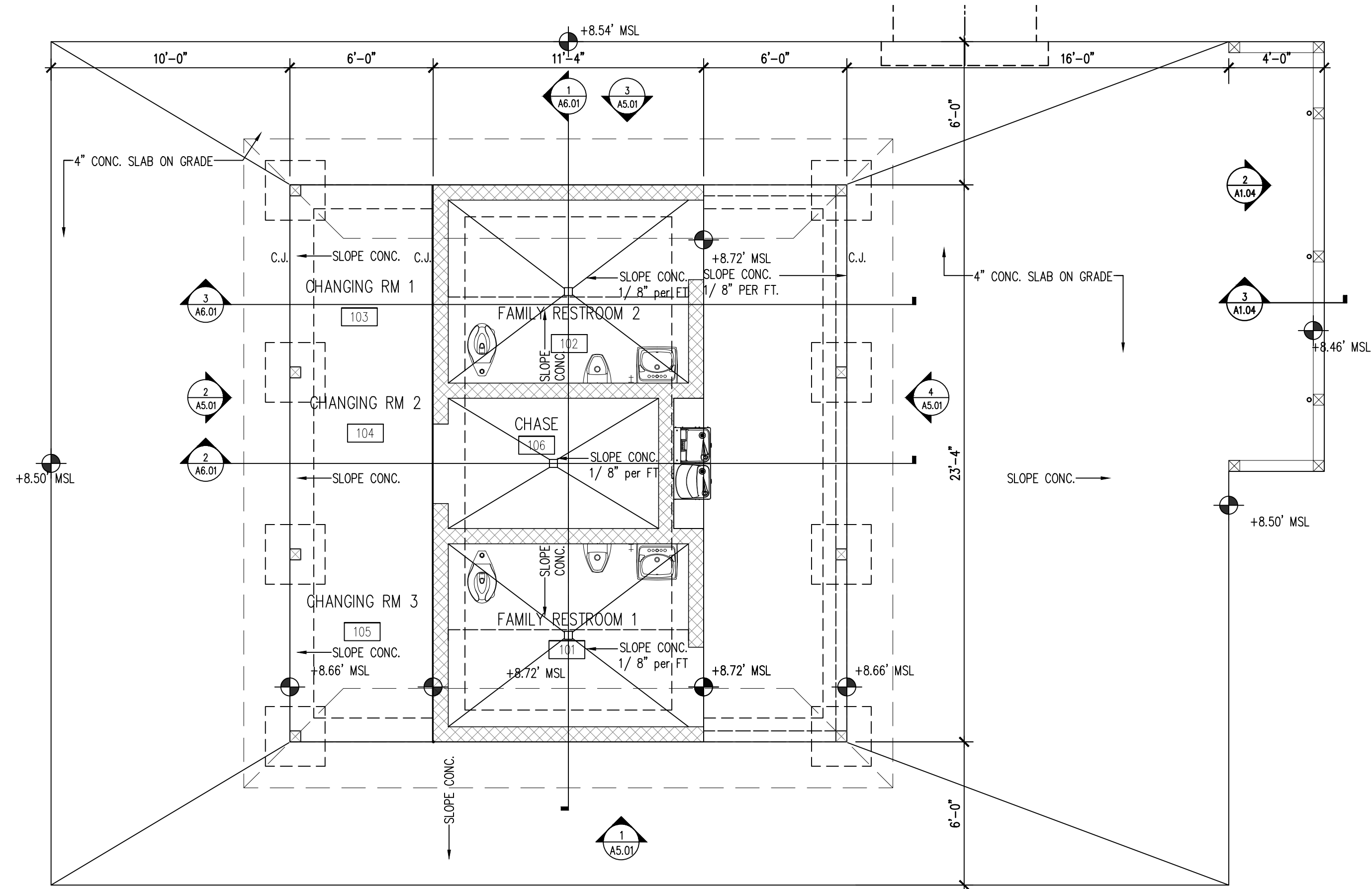
EXTERIOR ELEVATIONS

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CHECKED BY:  
PROJECT NO.: 2022-22

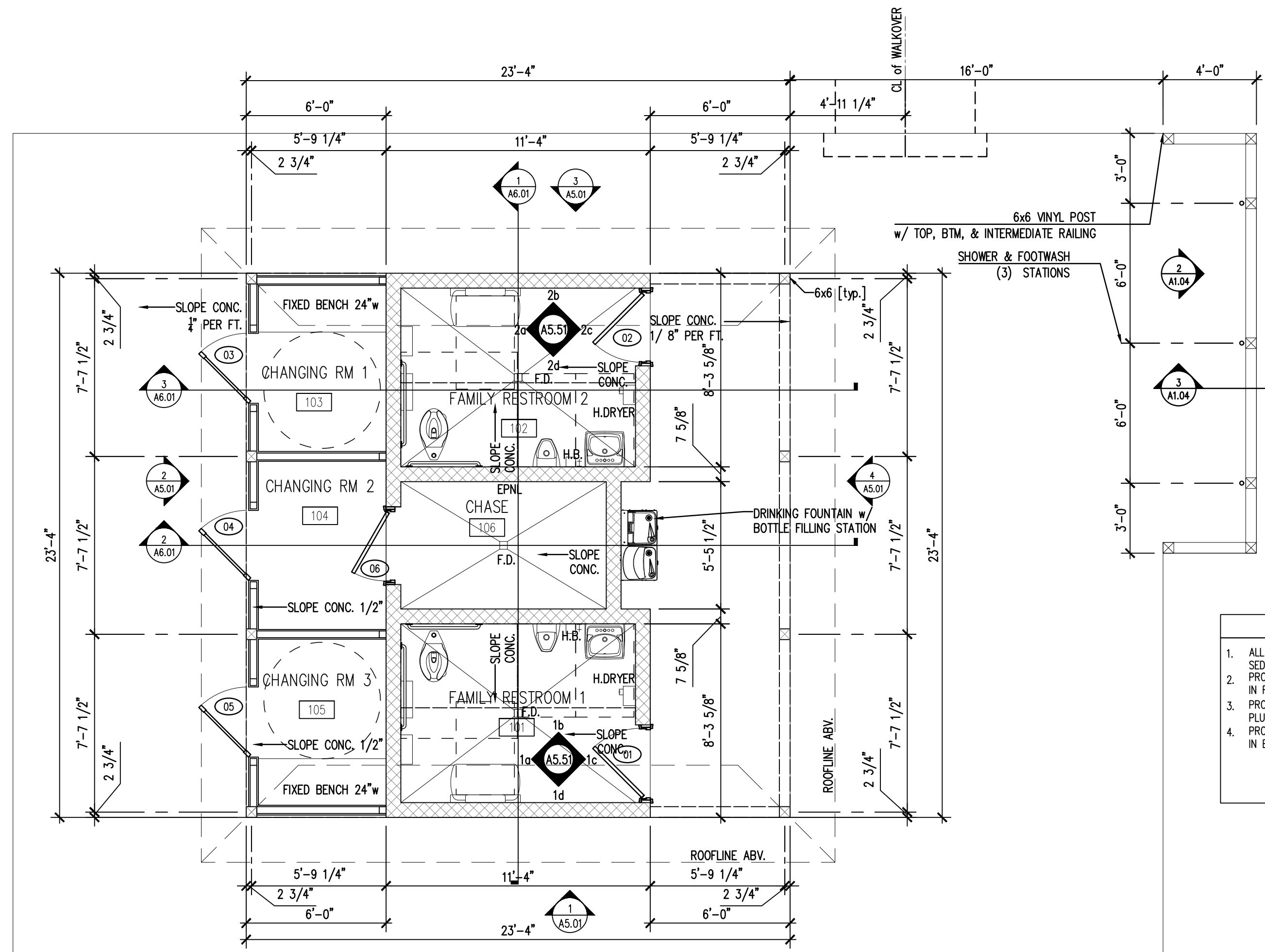
100% BID ISSUE







RCP NOTES  
1. PAINT ALL SURFACES.



FLOORPLAN NOTES  
1. ALL FLOOR DRAINS TO BE EQUIPPED W/ SEDIMENT TRAP CATCH BASIN  
2. PROVIDE OCCUPANCY SENSORED LED LIGHTING IN RESTROOMS 101, 102  
3. PROVIDE SWITCHED LIGHTING FOR PLUMBING CHASE  
4. PROVIDE (2) STAINLESS STEEL CLOTHING HOOKS IN EACH CHANGING ROOM. PROVIDE BLOCKING

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MKE KOPPENHAFFER, AIA - LICENSE # 0014945

REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 11/11/2022

FLOOR PLAN,  
RCP, &  
ROOF PLAN

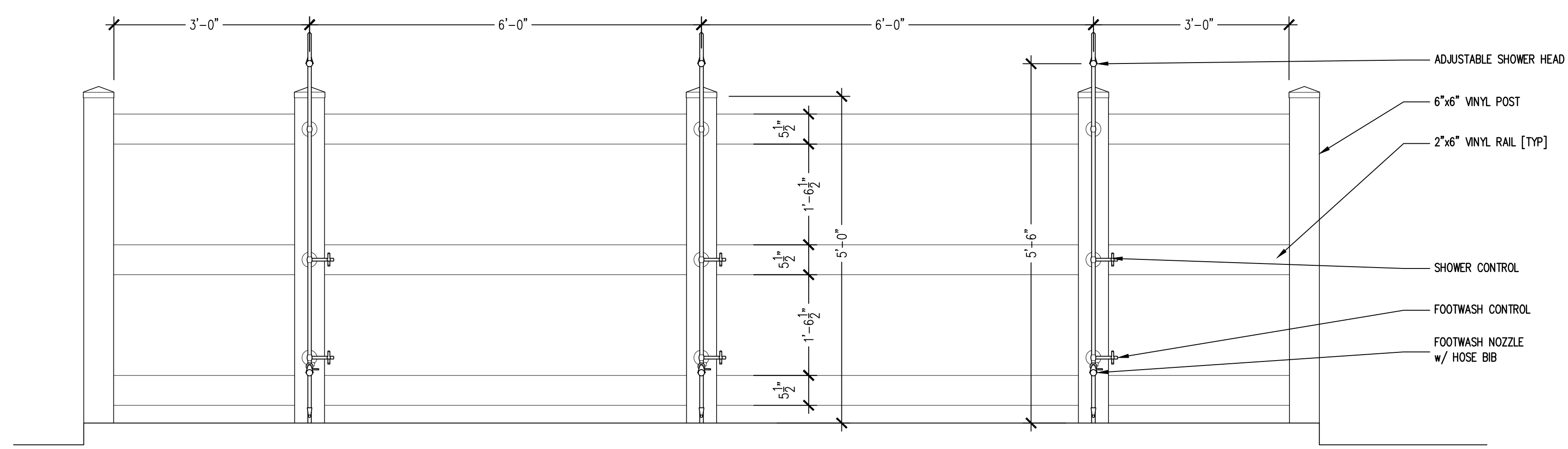
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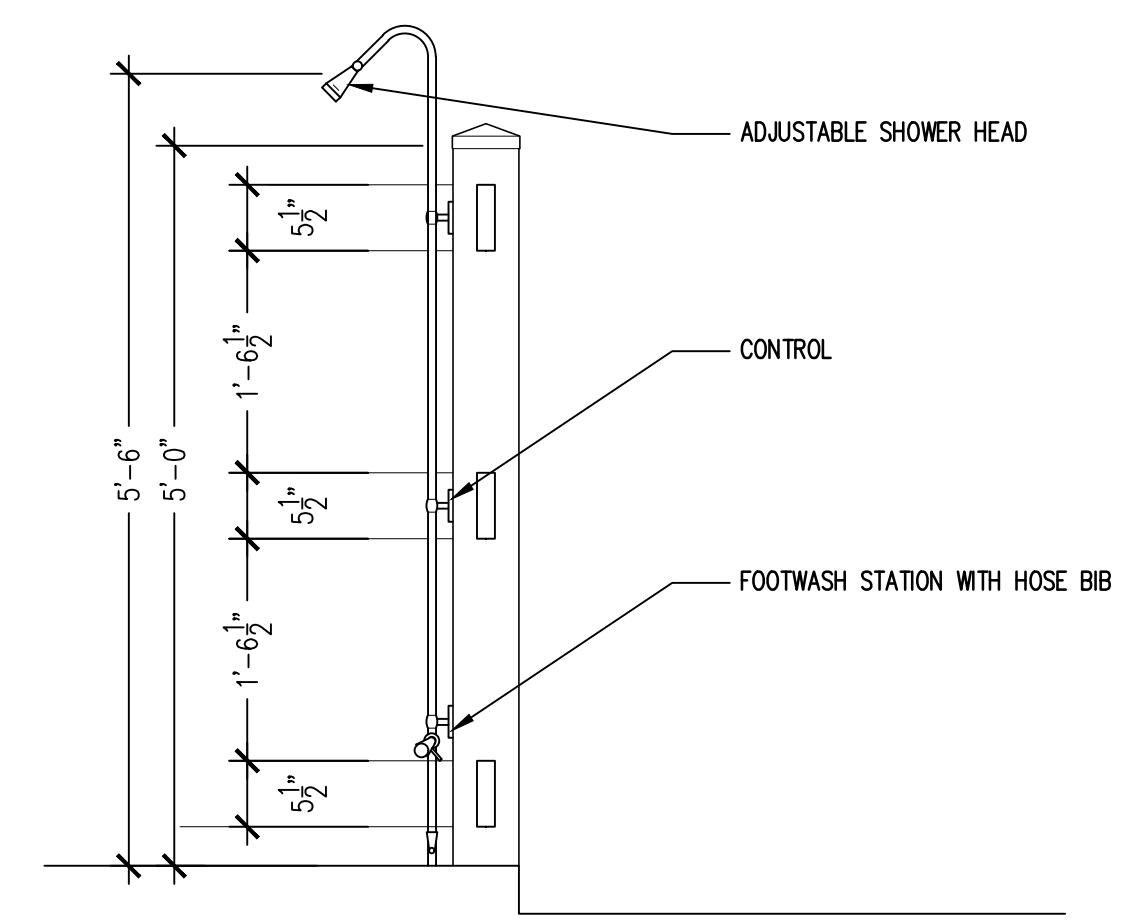
**A2.01**

100% BID ISSUE





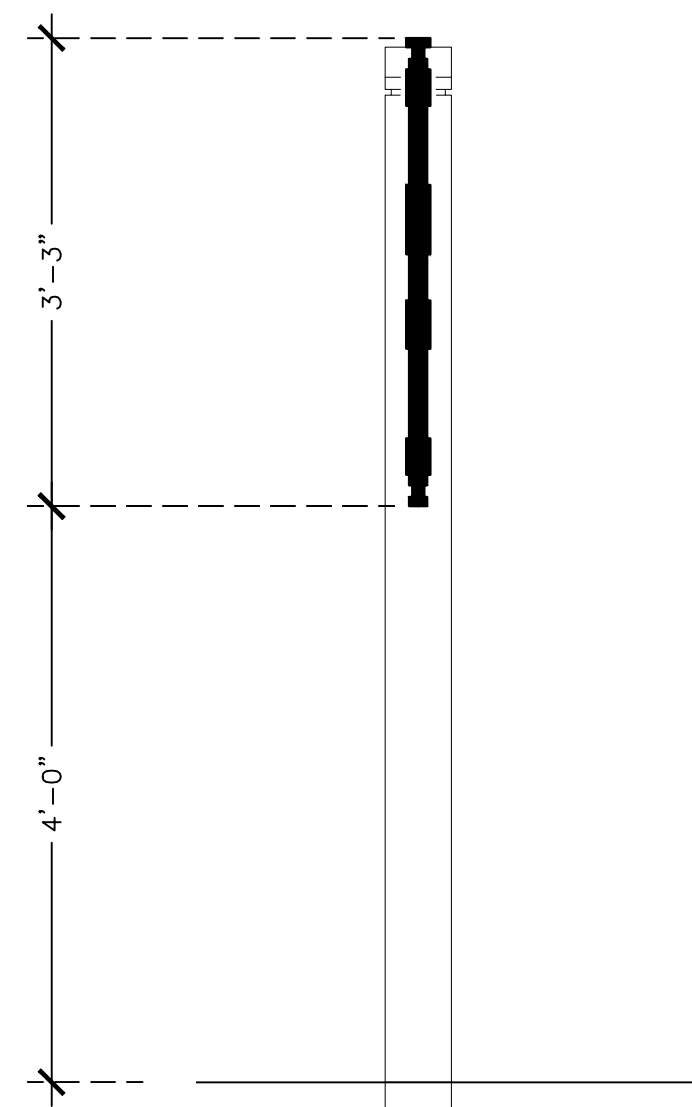
2 ELEVATION - SHOWER & FOOTWASH STATIONS  
A1.04 1/2" = 1'-0"



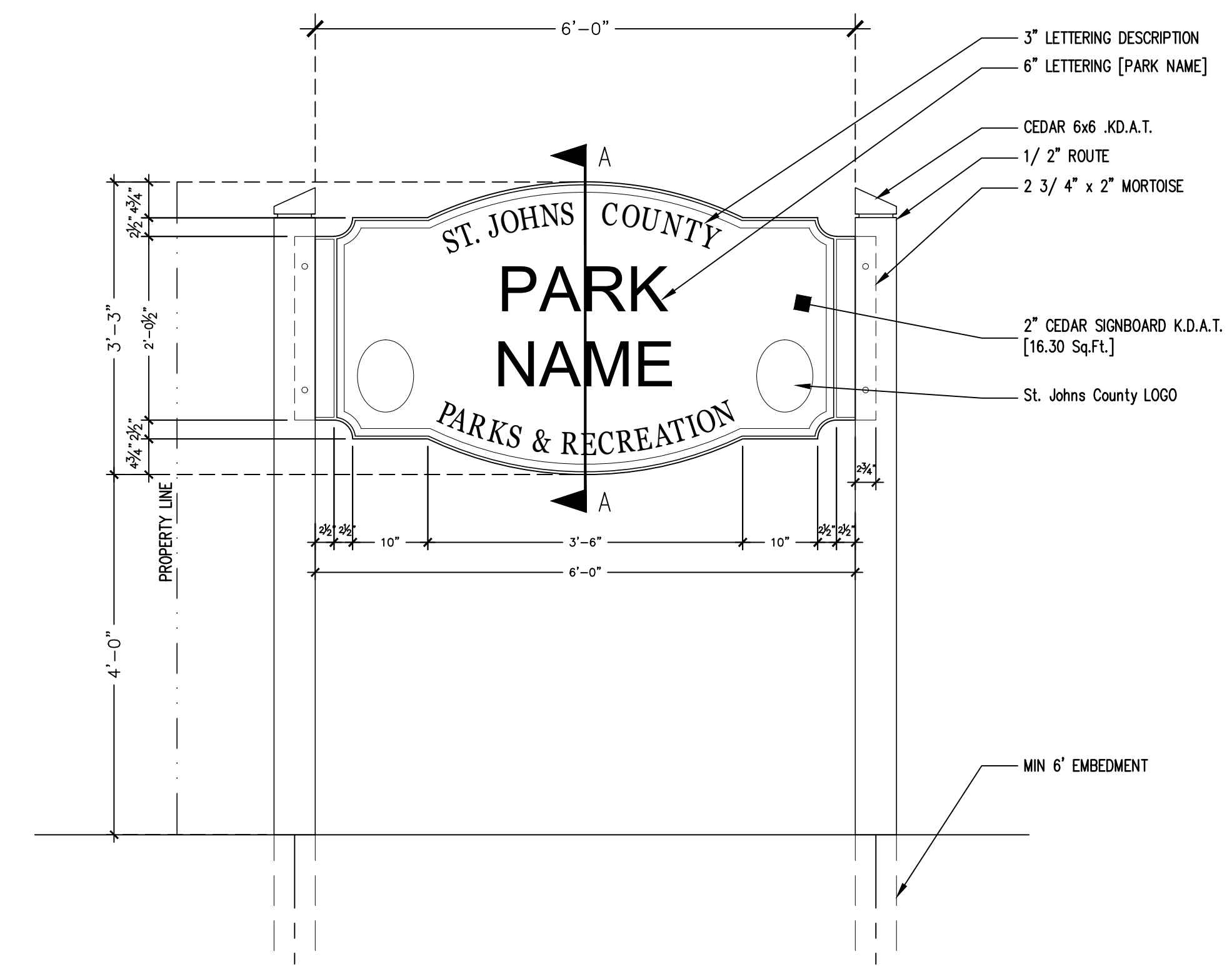
3 SECTION - SHOWER & FOOTWASH STATIONS  
A1.04 1/2" = 1'-0"



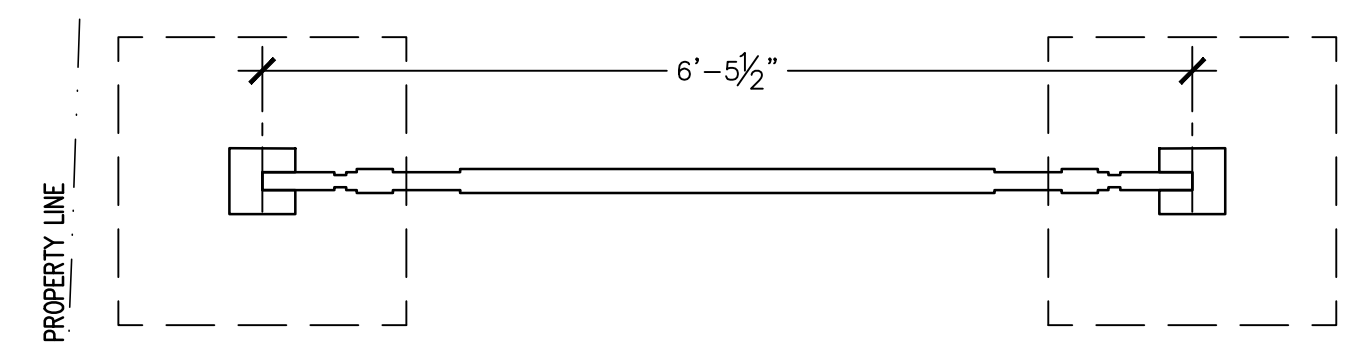
PARK SIGNAGE REFERENCE EXAMPLE  
[COLORS TO MATCH]



SECTION A-A



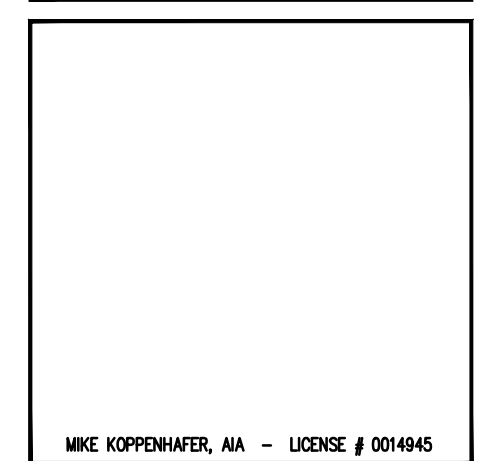
ENTRY SIGNAGE ELEVATION [DOUBLE-SIDED]



PLAN

1 ENTRY SIGNAGE DETAILS  
A1.04 3/4" = 1'-0"

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REVISIONS:


DATE: 11/11/2022

MISC. DETAILS

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A1.04

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