



GROWTH MANAGEMENT DEPARTMENT STAFF REPORT
SOUTH ANASTASIA OVERLAY DISTRICT
February 23, 2023 Public Meeting
SADRB 2023-01 Sandbar Deck

To: South Anastasia Design Review Board
Staff: Sloane Stephens, Planner
Date: February 14, 2023

Applicant: Robert Douglas
1103 Woodlawn Street
St. Augustine, FL 32091

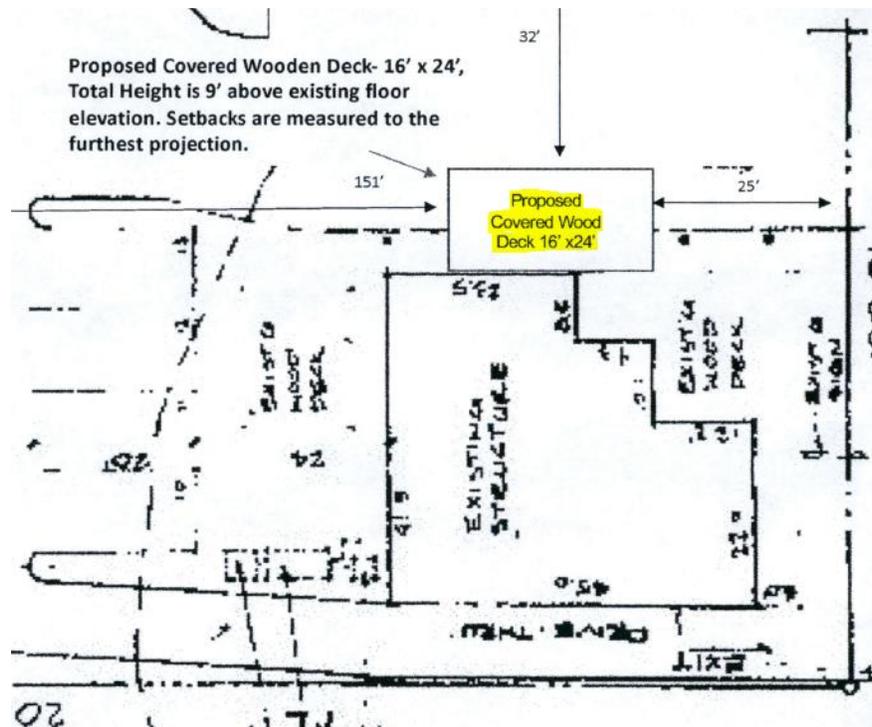
Location: 7025 A1A S.
FLUM: Commercial
Zoning: Commercial, General (CG)

Applicable Land Development Code Regulations:

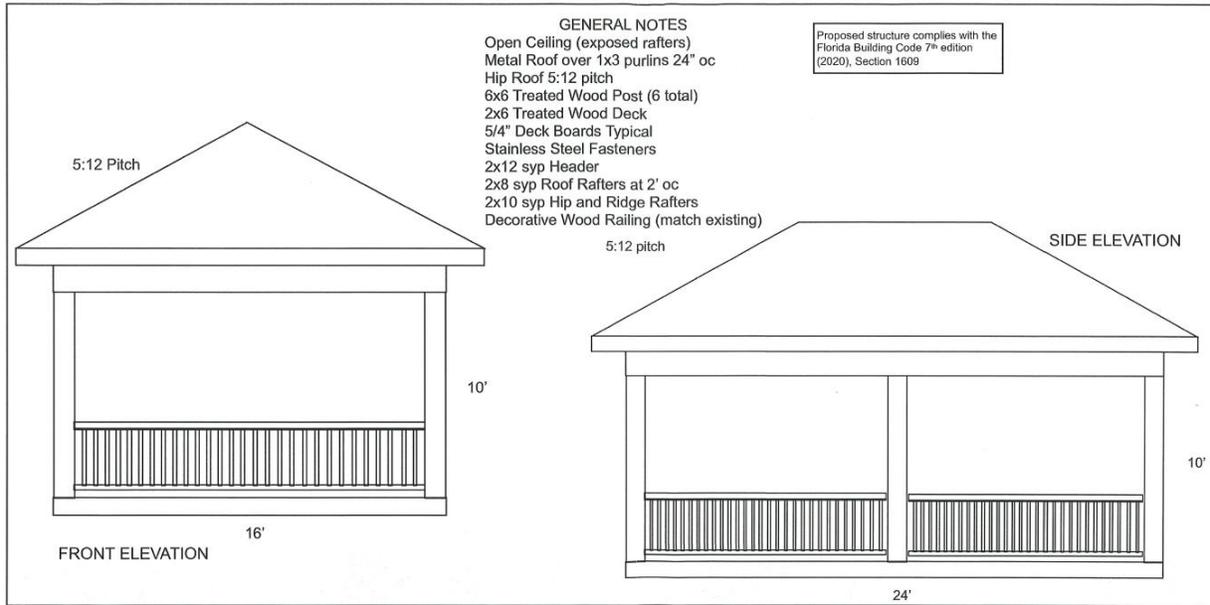
[LDC Section 3.07](#) – South Anastasia Overlay District

Summary of Request: Applicant is requesting design approval for a 16' x 24' covered wood deck. This review is specifically for the architectural design of the proposed addition. The applicant has been recommended to provide physical color/material samples at the hearing to assist in Board review. Staff notes that the proposed site plan meets all setback/buffering requirements for CG zoning in the South Anastasia Overlay District, as well as impervious surface ratio and floor area ratio.

The covered wood deck is proposed to be 16' by 24'. Deck is to be located along the northern side of the building. Please see proposed site plan below showing location of deck:



The provided elevations show that the 16' side of the deck will be facing A1A. Please see below for proposed deck elevations. Full-page elevations are provided at the end of this packet.



Additionally, the Applicant has confirmed that the colors of the deck will match the existing structure: wood frame with aluminum roofing.

Proposed Front (East) Rendering



Proposed Side (North) Rendering



Staff Review

Planning Division: The roof design of the proposed deck appears to be consistent with LDC Section 3.07.04.A1. In regards to roof material, LDC Section 3.07.12 states, “Roof shall consist of wood or asphalt composition shingles, barrel tile, clay tile or similar non-reflective finished material having a natural texture and appearance. Metal roofs shall only be allowed where they are characteristic of a recognized architectural style.” The proposed metal roof may be allowed if it is deemed characteristic of the “Old Florida” style. The Board may also find the proposed option more fitting as it would match the already-existing architecture. Additionally, the proposed color scheme appears to comply with the architectural design standards in the “Old Florida” style as set forth in LDC Section 3.07.11.

LDC Section 3.07.04 – Development Standards and Criteria (provided in part)

A. The following general criteria shall apply within the South Anastasia Overlay District:

1. Roof design should generally be of hipped, shed or gable types unless the specific recognized architectural character of the Building suggests a flat roof. Mansard roofs shall be allowed provided they are on all visually exposed sides and the slope does not exceed one to one (1:1).
3. Trash receptacles, dumpsters, utility meters, above-ground tanks, satellite dishes (except as provided by Florida law), Antenna, and other such Structures shall be similarly screened or made not visible.
5. Exterior lighting for safety and security shall be kept to a minimum consistent with reasonable safety requirements of the particular business or Structure. Safety and security lights, other than low-wattage lights or ground-area lights, shall not be directly visible from adjacent residential properties. See additional lighting criteria in Sec. 3.06.13. Lighting criteria for the protection of marine turtles and their hatchlings defined in Section 4.01.09 shall be followed accordingly. The use of solar power should be explored to supply electricity to fixtures.
6. The maximum amount of impervious surface coverage of any site proposed for Development, excluding any jurisdictional Wetlands, shall not exceed sixty-five percent (65%).

LDC Section 3.07.11 – Architectural Design Standards (provided in part)

The pleasing and compatible relationship of architecture along the South Anastasia Overlay District is of important public concern. The architectural design of Structures and their materials and colors must be visually harmonious with the overall appearance, history and cultural heritage of the communities within the South Anastasia Overlay District, and also with natural land forms and existing vegetation. Compatibility with existing adjacent Structures and other approved development plans must also be considered. The intent of these standards is not to restrain diversity or innovative architecture, but to reduce incompatible and adverse impacts, and to insure an aesthetically pleasing environment. To accomplish this, the following standards shall apply to the review of proposed Buildings, renovations, and related site improvements.

- A. Proposed Development shall be located and configured in a visually complementary manner with the existing terrain and vegetation of the Parcel and surrounding Parcels. Structures shall obstruct as little as reasonably practical scenic views from the main road or from existing Structures and the natural environment. Structures shall not dominate, in an incompatible manner, any general Development or adjacent Building which is substantially in compliance with this Code. This may be accomplished by the use of architectural features and/or siting of proposed Structures to reduce the appearance of excessive and inappropriate height or mass of proposed Structures.
- B. The proposed Building or Structure shall be of such design that it contributes to the image of the South Anastasia Overlay District as an “Old Florida” style, rural beach community with a pedestrian oriented, non-urban scale to the built environment preserving where possible the native beach and estuarine environments of the area.

LDC Section 3.07.12 – Design Elements and Materials (provided in part)

The following specific design criteria shall apply to Development regulated under the conditions of the South Anastasia Overlay District:

C. Roof shall consist of wood or asphalt composition shingles, barrel tile, clay tile or similar nonreflective finished material having a natural texture and appearance. Metal roofs shall only be allowed where they are characteristic of a recognized architectural style.

D. Exterior walls on all sides shall be stucco, tabby, wood siding or wood shingle siding, brick, exterior insulation-and-finish systems (EIFS) or other materials with similar texture and appearance; unless approved by the DRB.

E. Exterior colors of paints and stains for new Construction or Development which are subdued and nature-blending are preferred with no more than three (3) colors per Building, excluding roof color, unless approved by the DRB. The DRB may also allow up to two (2) additional colors for building accents (i.e. trim, awnings, columns, and shutters). Semi-transparent stains are recommended for application on natural wood finishes. Public art such as murals will not be applicable to the color standards in this paragraph. The design of the mural will not exceed a maximum of fifteen percent (15%) of the façade in which it is located unless otherwise approved by the DRB.

F. Roof and exterior wall surfaces, with the exception of glass doors and windows shall be non-reflective. Any glass coating shall not reflect outward and shall be limited in color to gray or green. No more than forty percent (40%) of the facade facing State Road A1A South shall be glass or reflective material.

LDC Section 3.07.13 – Lighting Criteria (provided in part)

Architectural lighting shall be recessed under roof overhangs or generated from a concealed light source, or low level light fixtures. Site lighting shall be of low-intensity, shall be of white light which does not distort colors and shall not spill over into adjoining properties, roadways or in any way interfere with the vision of oncoming motorists. Specifically, lighting shall be downward facing full cut-off, no higher than twenty (20) feet and shall have a maximum illumination level of 0.30 foot-candles at ground level at the lot line.

Staff review shows there are no open comments on this application. A Pre-application Meeting was not held with the Planning Division. Attached for consideration are:

- Application
- Site Plan
- Drawings
- Existing Conditions
- Proposed Elevations

CORRESPONDENCE

One phone call was received from a nearby resident stating concerns about late-night noise. They were informed this application is strictly for review and approval of the architectural design of the proposed structure, as it is an allowed use per CG zoning. They were informed of the public hearing to take place on February 23, 2023 regarding the project, and that they are welcome to submit letters of support/opposition to Staff to be provided to the Board.

SUGGESTED ACTION TO APPROVE

The Design Review Board may consider a motion to approve **SADRB 2023-01 Sandbar Deck**, as described within the application, provided:

1. The request complies with the St. Johns County Land Development Code relating to design standards and is consistent with the intent and purpose of the South Anastasia Overlay District Regulations.

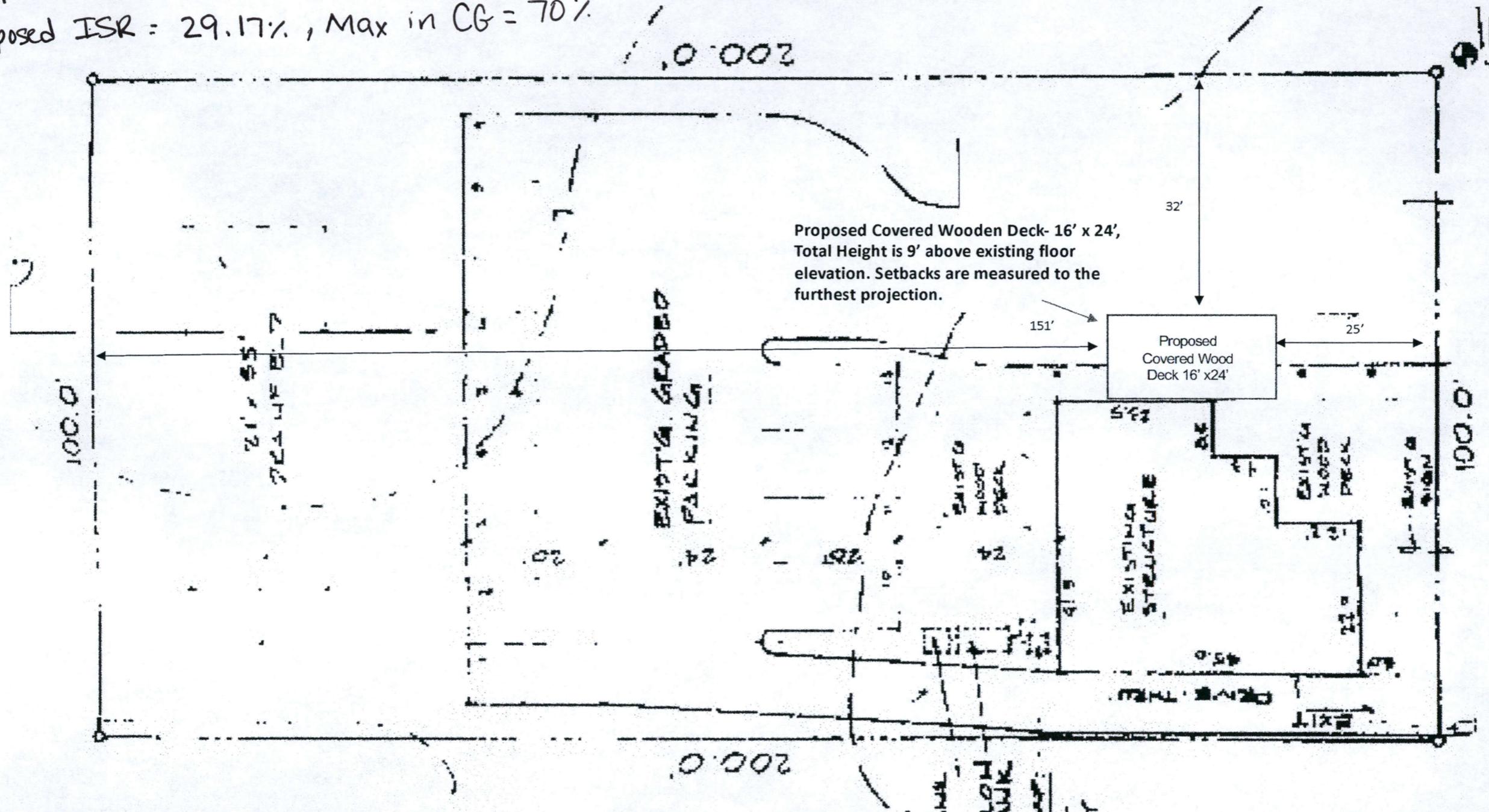
SUGGESTED ACTION TO DENY

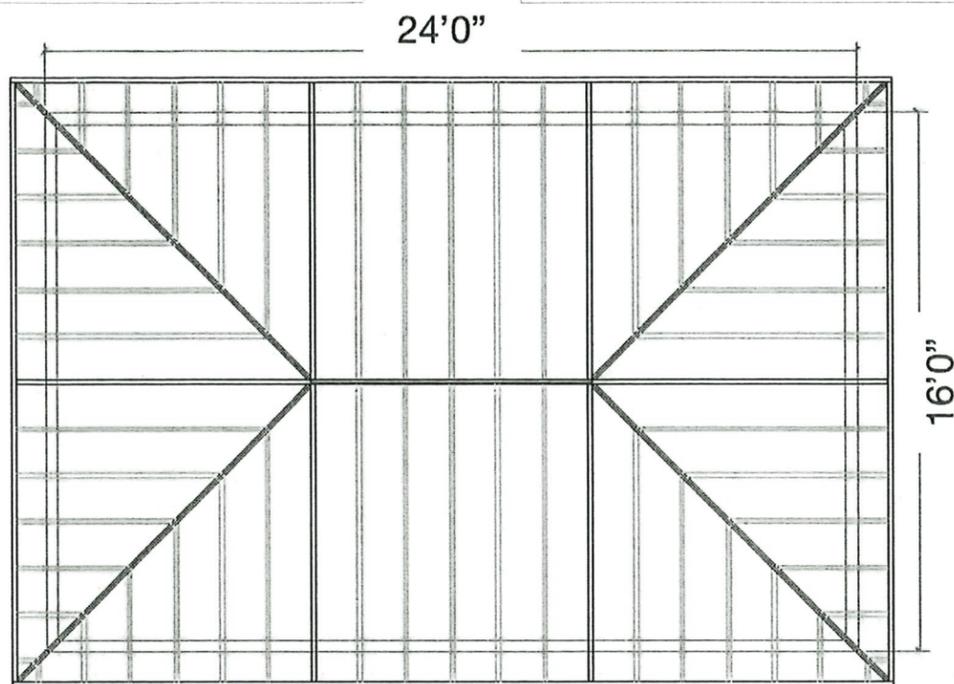
The Design Review Board may consider a motion to deny **SADRB 2023-01 Sandbar Deck**, provided:

1. The request does not comply with the St. Johns County Land Development Code; the proposed design standards are not compatible with the purpose and intent of the South Anastasia Overlay District Regulations.

Proposed FAR = 12.17% , Max in CG = 50%.

Proposed ISR = 29.17% , Max in CG = 70%.

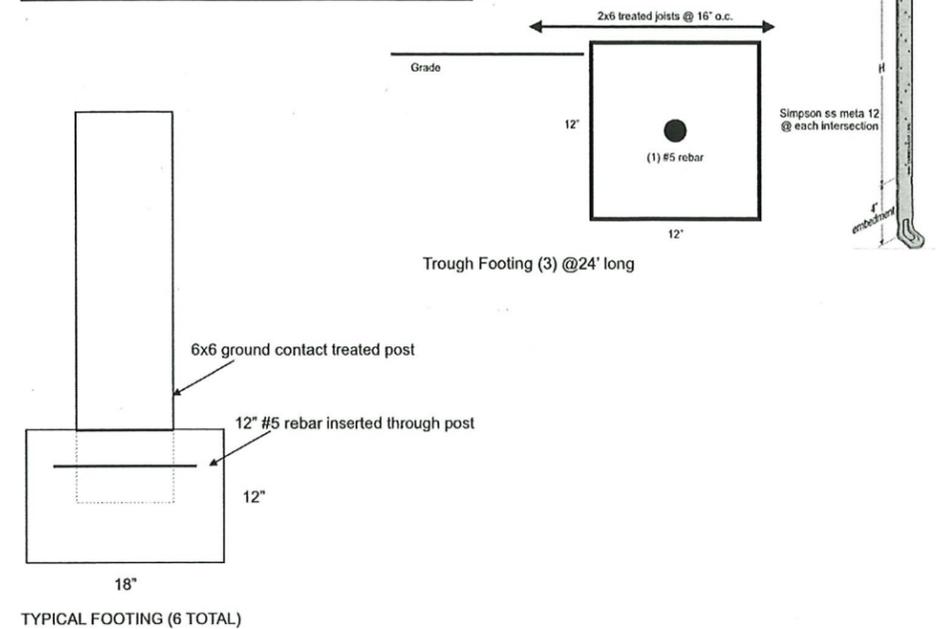




FRAMING LAYOUT

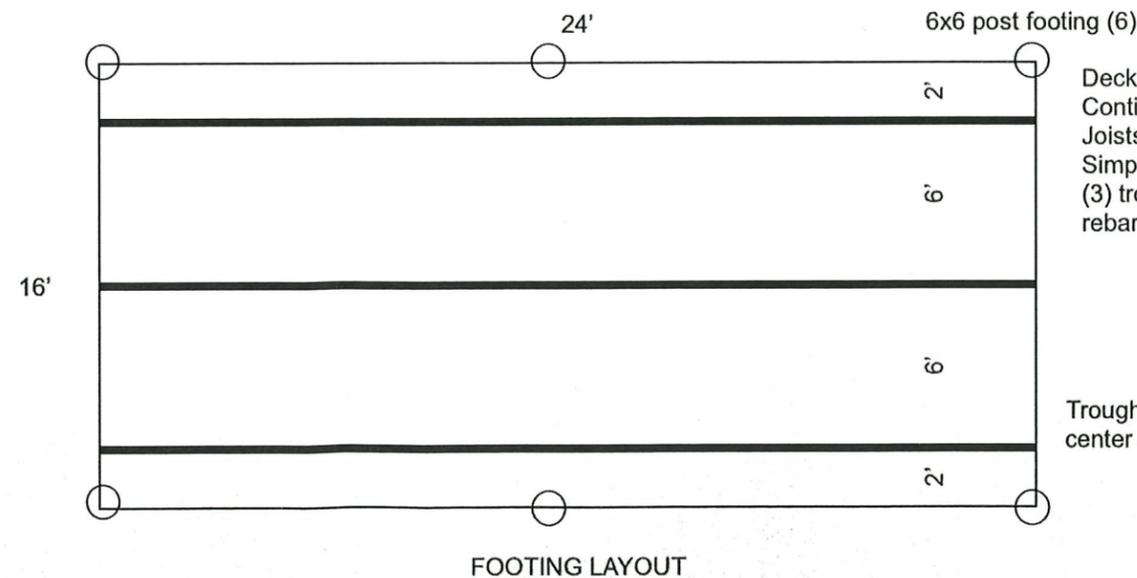
All rafters 2x8 syp @ 24" o.c.
 All king and ridge 2x10 sup
 (4) 10d ss nails at every intersection
 1x3 purlins @ 24" o.c. (sm rib metal roof)
 Purlins attach to rafters with (2) 8d ss nails at each intersection
 12" roof overhang
 Rafters tie to double 2x12 beam with (1) Simpson 12" ss twist strap
 Structure supported by (6) 6x6 notched posts (4) at corners and (2) midspan
 6x6 posts attach to double 2x12 beam with (2) 1/2" ss carriage bolts at each connection

Proposed structure complies with the Florida Building Code 7th edition (2020), Section 1609



WIND LOAD CONSIDERATION	
STANDARDS USED: FLORIDA BUILDING CODES, 7 th EDITION, SECTION 1609	
BUILDING TYPE	PARTIALLY ENCLOSED
EXPOSURE	B
BASIC WIND SPEED	130 MPH
INTERNAL PRESSURE COEFFICIENTS	-.55 +.55
IMPORTANCE FACTOR	1
COMPONENTS AND CLADDING	IN PSF
3' EDGE STRIPS OF WALLS	-39.92 +34.77
WALLS OTHER	-37.35 +34.77
3'X3' ROOF CORNERS	-50.23 +21.89
3' EDGE STRIPS OF ROOFS	-50.23 +21.89
ROOFS OTHER	-34.77 +21.89

WIND LOAD CONSIDERATION	
STANDARDS USED: FLORIDA BUILDING CODES, 7 th EDITION, SECTION 1609	
BUILDING TYPE	OPEN
EXPOSURE	B
BASIC WIND SPEED	130 MPH
INTERNAL PRESSURE COEFFICIENTS	0.0
IMPORTANCE FACTOR	1
COMPONENTS AND CLADDING	IN PSF
3'X3' ROOF CORNERS	-39.4 +13.1
3' EDGE STRIPS OF ROOFS	-39.4 +13.1
ROOFS OTHER	-19.7 +13.1



Deck framing 2x6 treated @ 16" o.c.
 Continuous 2x6 band board around perimeter
 Joists connect to each trough footing with (1) Simpson embedded (eta) similar to a typical lintel
 (3) trough footings 12" wide x 12" deep w (1) #5 rebar

Trough footing (3) 12"x12"x24' (1 at deck center span and 2 set 2' from deck edge)

Property Owner:
 Sandbar, Inc.
 7025 A1A South
 St Augustine, FL 32080
 16' x 24' covered deck

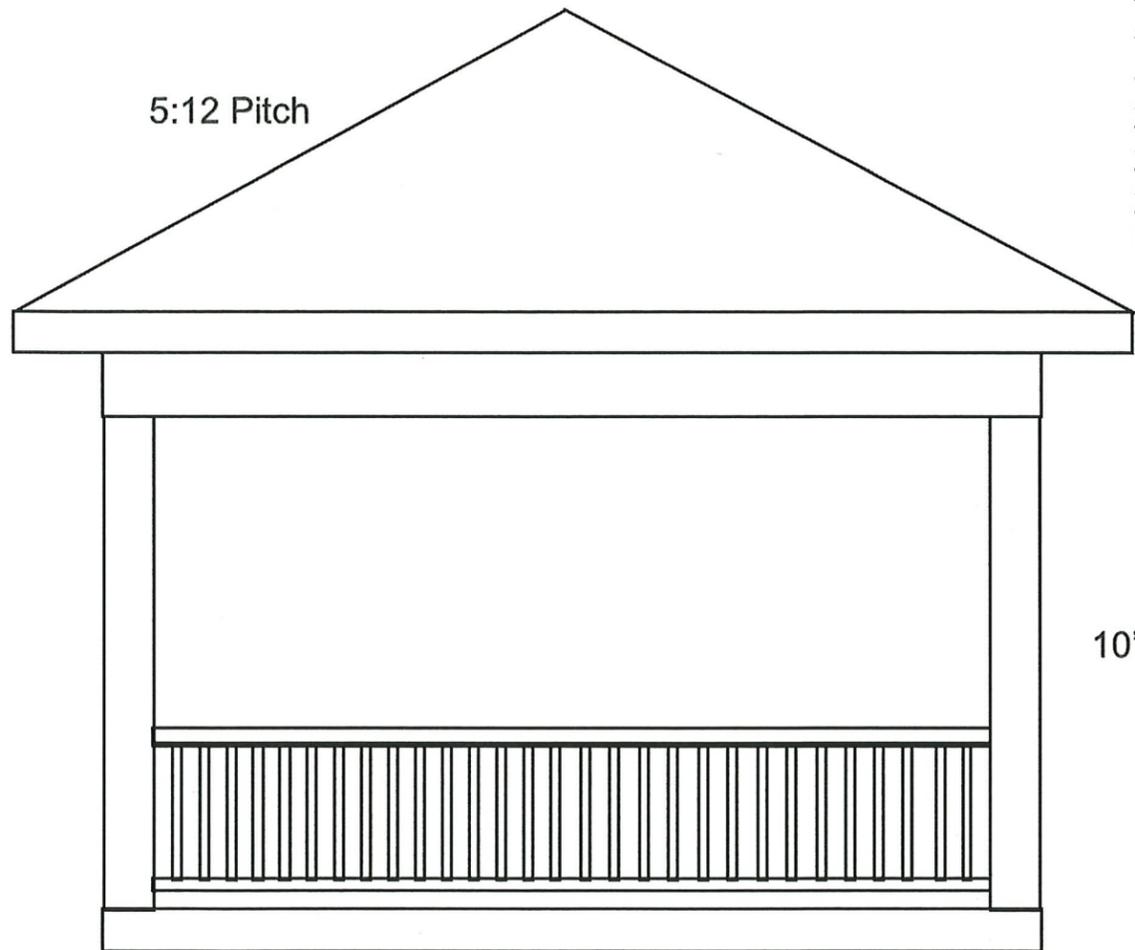
Contractor: CRC 1331687
 Robert David Douglas P.A.
 13 Birchwood Place
 Palm Coast, FL 32137
 (386) 864-9242

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 Digitally signed by Jahangir Shakib
 Date: 2022.07.14 09:50:53 -04'00'

GENERAL NOTES

- Open Ceiling (exposed rafters)
- Metal Roof over 1x3 purlins 24" oc
- Hip Roof 5:12 pitch
- 6x6 Treated Wood Post (6 total)
- 2x6 Treated Wood Deck
- 5/4" Deck Boards Typical
- Stainless Steel Fasteners
- 2x12 syp Header
- 2x8 syp Roof Rafters at 2' oc
- 2x10 syp Hip and Ridge Rafters
- Decorative Wood Railing (match existing)

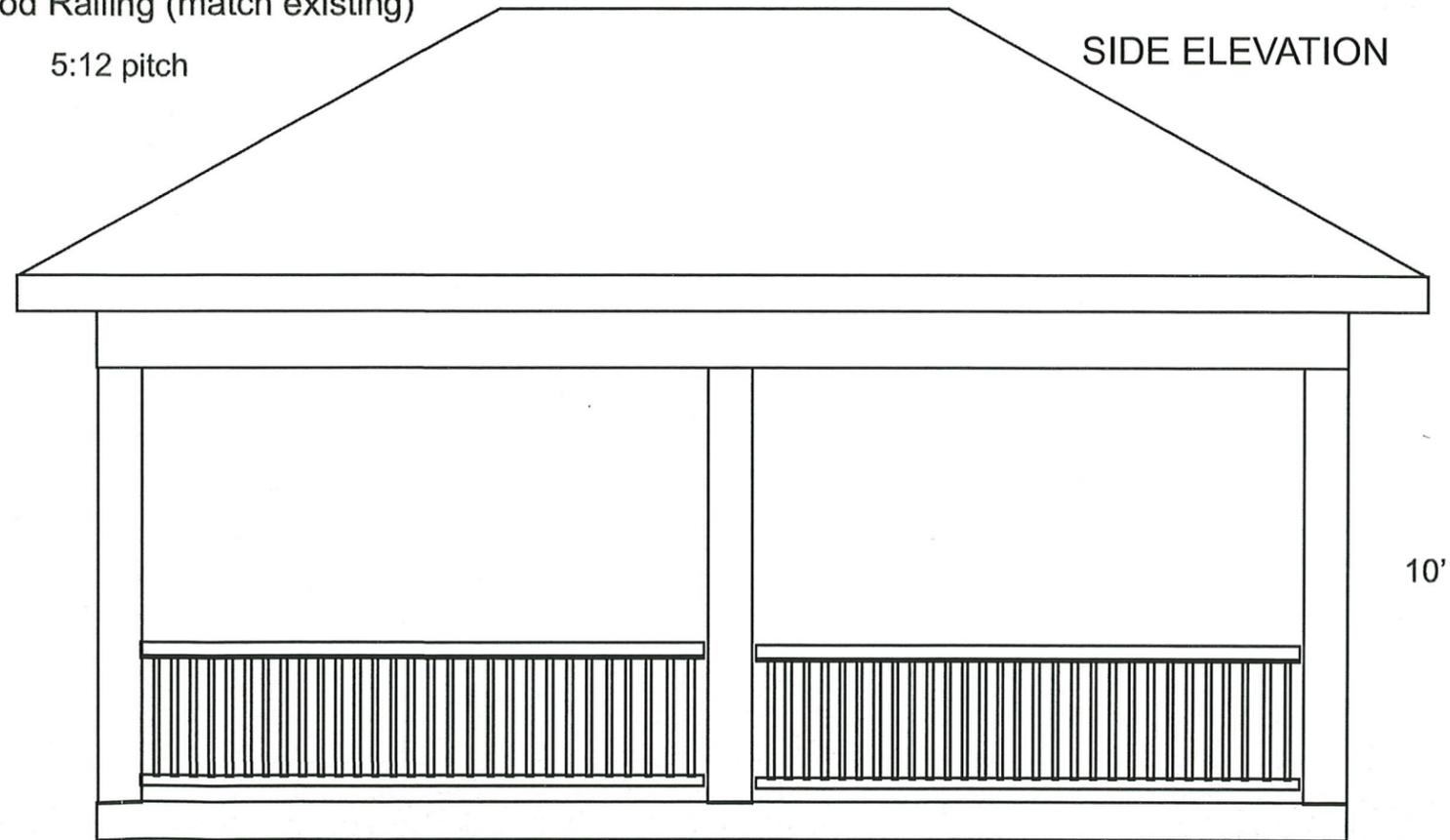
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5:12 Pitch

16'

FRONT ELEVATION



5:12 pitch

SIDE ELEVATION

10'

24'

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