



GROWTH MANAGEMENT DEPARTMENT STAFF REPORT
VILANO BEACH TOWN CENTER OVERLAY DISTRICT
March 13, 2024 Public Meeting
NCDRB 2023-06 North Beach Park Improvements

To: North Coastal Design Review Board
Staff: Teresa Bishop, AICP, Planning Manager
Date: March 6, 2024

Applicant: John P. Grady, P.E.
7563 Phillips Hwy., Bldg. 600
Jacksonville Fl 32084
jgrady@structuresintl.com

Owner: St. Johns County
Location: 3721 Coastal Hwy.
FLUM: C-Residential (Coastal)
Zoning: RG-1

Applicable Land Development Code Standards: Part 3.09.00 North Coastal Overlay District

Summary of Request: Applicant is requesting design approval for the North Beach Park Improvements.

DRB Review: Pursuant to the Cover Letter, the applicant is requesting design approval for improvements to the existing parking areas and construction of a new restroom, pavilion, changing room, beach showers, and playground amenities. The improvement design of the site works to preserve the existing canopy of the property's mature established trees and grass open space areas. The proposed design works to enhance the enjoyment of the existing natural areas in the western portion of the site by clearing underbrush in select areas under existing tree canopies to be preserved and creation of a new coquina walking path. In the center of the park a new amenity area will be created. In the north end of the amenity area a new eight (8) stall restroom structure approximately 700 +/- square feet in floor area will be constructed. Adjacent to the restroom structure will be a beach wash off shower area. Anchoring the south end of the amenity area will be a new pavilion structure providing space for 4 picnic tables for park users enjoyment. In the center of the amenity area a new playground area will be constructed. Around the pavilion structure and throughout the amenity area sidewalks with coastal art installations, park benches, and Florida friendly landscaping will be provided for park users enjoyment. New concrete paved handicap parking will be constructed directly adjacent to the park amenities to provide accessible use of the center amenity area. At the existing beach walkover bridge, a 300 +/- square foot three stall changing room and beach shower structure will be constructed for the convenience of beach goers utilizing the walkover. The changing room beach shower structure area will include beach gear hooks and racks for convenience of beach goers using the showers. Additional formalized parking will also be created along twenty fourth street.

Further, the applicant provided the existing park amenities includes a beach bridge walkover over A1A, a two stall bathroom with single shower, pavilion, playground, and parking facilities accommodating 88+/- vehicles. The applicant has an approved DRB approval from March 2023. There have been no changes to the vertical structures, other than the final selection of the playground equipment that was made by the public at the community meeting held. Changes to the site design include elimination of the western auxiliary parking area for preservation of the existing grass field area and creation of additional formalized parking stalls along twenty fourth street.

Staff Review

Planning Division: As provided in above, the Applicant provided Staff with a cover letter describing the details of proposed improvements. Additionally, the Applicant has provided site plans, landscape plans, building plans and elevations of the restroom, pavilion, and changing room/shower, four playground options, and architectural renderings of all proposed structures. The subject property contains four parcels of land owned by St. Johns County and developed as a County Park. The DRB approved new restrooms, pavilion, changing room and refurbished signage in March 2023.

Applicable Code Sections (in part):

LDC Section 3.09.04 – Design Guidelines and Development Standards (provided in part)

The pleasing and compatible relationship of structures in the North Coastal Overlay District is of important public concern. The architectural design of structures and their materials and colors should be visually harmonious with the overall appearance, history and cultural heritage of St. Johns County, the South Ponte Vedra and Vilano Beach area. The intent of these standards is to encourage architectural diversity and innovative architecture, which supports the intent of this Part and insures an aesthetically pleasing environment that preserves the integrity of this small town area. Site design and architectural features, such as differentiation of floors and providing for the appearance of separate but connected buildings, should be used to reduce the appearance of excessively large or massive buildings. New buildings shall be designed to contribute to the image of the North Coastal Overlay District community with a pedestrian oriented, non-urban scale and character. To accomplish these objectives, the following guidelines and standards shall apply to the review of proposed buildings, renovations, and related site improvements, which are subject to the requirements of this Part.

A. Architectural styles of new buildings should be reflective of one of the following historical styles: Art Deco, Florida Vernacular, Spanish or Mediterranean, and Northeast Vernacular. These styles are generally described in Section 3.09.07 of this Part. Elements from these styles should be incorporated into building mass and height, signage, exterior colors, exterior lighting, building materials, rooflines, and any porches, awnings or parapets. Structures should be designed to capture breezes, provide shaded porches and cafes, encourage pedestrian and bicycle use and relate to the character of the area.

The provided cover letter states that the architectural style of the proposed structures has been modeled after the Florida Vernacular style.

B. Long monotonous facade designs including, but not limited to, those characterized by unrelieved repetition of shape or form or design elements, or by unbroken extension of line shall be avoided. The maximum length of any building parallel to the roadway shall be 120 feet.

There are no proposed buildings to be longer than 120 feet.

C. Commercial Buildings should where possible incorporate the following design patterns and details, to encourage pedestrian activity:

1. The main Commercial Building entrance should face the main roadway. Buildings located at street corners should have entrances at the corner. All outside walls of the building shall be finished with the same materials and chosen style as the front.

2. Unless approved by the Design Review Board, blank walls facing the main roadway shall be avoided and walls facing State Road A1A shall not be used for service entrances. The use of entranceways and display windows should be used to create business and storefronts that are festive and inviting to the pedestrian.

3. Building finishes, design and architectural detailing shall be consistent and of the same quality for all sides of the building. The Design Review Board may consider differences in exterior refinishes for existing Structures providing a cohesive design.

4. Outdoor pedestrian seating areas are strongly encouraged, and similarly, outdoor cafe-type seating is encouraged.

D. Work areas, storage doors and open bays shall not open toward any delineated roadway or any adjacent residential properties. The DRB may consider alternative screening and design concepts to shield work areas, storage doors and open bays from delineated roadways or any adjacent residential properties. This shall not be construed to prohibit outdoor seating and restaurant or bar areas or open display areas.

The property is not commercial. The subject property is used as a County Park with open areas.

E. Heating, ventilation and air conditioning equipment (excluding roof vents), duct work, air compressors, and other fixed operating machinery shall be either screened from view with fencing architecturally compatible with the Building; or vegetation; or located so that such items are not visible from any roadway or adjacent residential properties. Trash receptacles, dumpsters, utility meters, aboveground tanks, satellite dishes (except as provided by Florida law), antenna, and other such structures shall be similarly screened or concealed from sight. Chain link, barbed wire and similar fencing materials shall not be allowed in any required Front Yard, and where such fencing can be viewed from any delineated roadway, landscaping or berming shall be provided to prohibit visibility from such roadway or any adjacent residential properties. It does not appear there are any proposed utility equipment areas.

The Board may want to inquire about the placement of trash bins and screening from the residential areas.

F. Exterior lighting for safety and security shall be kept to a minimum consistent with reasonable safety requirements of the particular business or Structure. Safety and security lights, other than low-wattage lights or ground-area lights, shall be downward facing and shall not be directly visible at ground level more than one hundred (100) yards from the light location. Parking area lights shall be no higher than the eave of the adjacent buildings. See additional lighting criteria in 3.06.13. Lighting criteria for the protection of marine turtles and their hatchlings defined in Section 4.01.09 shall be followed accordingly. The use of solar power should be explored to supply electricity to fixtures.

The applicant has stated in the Cover Letter that lighting design is to be minimal low intensity bollard style lights, creating minimal to no spillover at the property line. A photometric plan will be required with the construction plan review.

LDC Section 3.09.05 – Lighting Criteria

Architectural lighting shall be recessed under roof overhangs or generated from a concealed light source, or low level light fixtures. Site lighting shall be of low-intensity, shall be of white light which does not distort colors and shall not spill over into adjoining properties, roadways or in any way interfere with the vision of oncoming motorists. Specifically, lighting shall be downward facing full cut-off, no higher than 20 feet and shall have a maximum illumination level of 0.30 foot-candles at ground level at the lot line.

The applicant is aware, proposed exterior and interior lighting at the site shall meet the provisions of Section 4.01.09 of the Land Development Code for the protection of marine turtles. Applicant has stated in the Cover Letter that lighting design is to be minimal

low intensity bollard style lights, of amber color to comply with LDC Section 4.01.09, creating minimal to no spillover at the property line. A photometric plan will be required with the construction plan review.

LDC Section 3.09.06 – Architectural Styles and Design Elements (provided in part)

Proposed Structures and exterior renovations shall not be required to strictly adhere to any particular architectural form or style, but should contain features and elements which contribute to the overall styles described herein and found throughout the North Coastal Overlay District. To assist in defining styles for the District, the following general descriptions and guidelines should be considered in the design of proposed Structures and exterior renovations.

B. Florida Vernacular (in part) – Florida Vernacular style may include styles commonly referred to as Florida Cracker, Old Florida Beach, and Gulf Coast. Vernacular architecture is not a clearly defined architectural style, but rather a method of construction that develops particular to a geographic area over time. Vernacular styles historically utilized raw materials that were commonly available in a region and contain functional forms and features appropriate to the physical characteristics of an area, such as climate and topography. Vernacular architecture also commonly contains elements that have derived and evolved from the ancestry of a region's settlers. In Northern Florida, vernacular structures were generally simple, modest structures, rectangular in form with little elaboration. Horizontal wood siding, wood shingles and board and batten with gable or hipped roofs of metal or composition shingles were common. Wide wrap-around porches and large windows with shutters were common. Wide overhanging eaves and breezeways were typically incorporated to provide shade and maximum ventilation. Representative examples include Seaside (Florida Panhandle), Celebration (Orlando), Tides Edge (South Ponte Vedra) and Haile Plantation (Gainesville).

The applicant has provided the architectural style of the proposed restroom, pavilion and changing station structures are modeled after Florida Vernacular style. The applicant has provided the structures are simple and modest, rectangular shapes with little elaboration. Overhangs, roofs and covered porches are provided.

A. General Signage Provisions (in part): The following design requirements shall apply to the entire North Coastal Overlay District:

1. The colors and materials of Signs shall be similar to and compatible with the architectural style and colors and materials of the related commercial or multi-family Building. Any icons that is not similar to and compatible with the architectural style and colors and materials of the related commercial or multi-family Building shall be restricted to a maximum 15% of the advertising display area, unless additional area is approved by the DRB.
2. Signs should be oriented to vehicular traffic as well as pedestrians and scaled appropriately. Street numbers should be visible on Signs or the front of buildings, as appropriate.
3. Signs must be professionally designed, lettered and constructed.
4. Signs may be double faced.
5. Wall Signs shall be mounted directly upon wall surfaces, and shall not be mounted upon raceways or other protrusions from the wall surface.
6. Messages upon doors or windows, which do not exceed six (6) inches in height, shall not be counted as a Sign and shall not be subject to review.
7. Any lighting shall be white in color for all signs. External lighting must conceal and shield the light.

8. Molded vinyl or plastic internally illuminated Signs shall not be allowed.
9. For Signs that contain federally registered trademarks or service marks, documentation of such registration shall be provided with the application for review.
10. New Ground Signs and alterations to existing Ground Signs requiring a DRB review shall be externally illuminated with downward facing fixtures and hours of illumination to cease no later than 30 minutes after business closing, unless additional time is approved by the DRB.
11. Signs shall be of wide-based monument style design. Pylon Signs are only permitted when monument style signs cannot be adequately located due to site constraints as determined by the DRB.
12. The maximum allowable height of a Sign structure shall be twelve (12) feet including any foundation supporting the Sign. A foundation used to support a Sign shall not exceed four (4) feet in height. The use of dirt, sand or other material to elevate the height of a Sign on a mound is prohibited.

B. Ground or Pylon Signs: Number and Size of Signs permitted for the street frontage:

1. For sites five (5) acres or less: One (1) on-site Sign not to exceed thirty-two (32) square feet for each Sign Face, may be located on each collector and arterial roadway.
2. For sites more than five (5) acres: One (1) on-site Sign, not to exceed sixty (60) square feet for each Sign Face, may be located on each collector and arterial roadway.
3. All ground Signs shall include the street number in a size and manner that is clear and visible.
4. Where feasible, as determined by the approval authority, all ground signs shall use shrubs that are twenty four (24) inches at the time of planting at the base of the sign. These must be planted within 30 days of the sign installation.

The applicant has provided the sign design intends to maintain but refurbish the existing park sign along A1A and proposes education and environmental signage.

LDC Section 3.09.08 – Administrative Requirements: Staff review shows there are no open comments on this application. The applicant submitted the required documents for DRB review, which include the following:

Cover Letter dated November 22, 2023
North Beach Park Renovation Construction Plans with Site Plan

CORRESPONDENCE

Staff has not received any phone calls or letters regarding the proposal as of the writing of this Staff Report.

SUGGESTED ACTION TO APPROVE

The Design Review Board may consider a motion to approve **NCDRB 2023-06 North Beach Park Improvements**, as described within the application, provided:

- The request complies with Part 3.09.00 of the St. Johns County Land Development Code, and is consistent with the intent and purpose of the Overlay District.

SUGGESTED ACTION TO DENY

The Design Review Board may consider a motion to deny, **NCDRB 2023-06 North Beach Park Improvements**, as described within the application, provided:

- The request does not comply with Part 3.09.00 of the St. Johns County Land Development Code.

The Board may consider additional conditions and findings.



Application for Overlay District Review
 Growth Management Department
 Planning and Zoning Section
 4040 Lewis Speedway, St. Augustine, FL 32084
 Phone: 904.209.0675; Fax: 904.209-0576

Date Overlay District Property ID No (Strap)

Applicant Phone Number

Address Fax Number

City State Zip Code E-mail

Project Name

Project Address & Location

Type of Review Commercial Use Multi-family Use Other:

The Project Involves New Building Changes to an existing Building Exterior Repainting Signage (Individual)
Check all that apply
 Unified Sign Plan Fences / Walls Parking / Lighting Landscaping / Buffers
 Other:

Describe Project and work proposed to be done (Provide additional information by attachment as needed)

I HEREBY CERTIFY THAT ALL INFORMATION IS CORRECT:
 Signature of owner or person authorized to represent this application:

Signed By _____

Printed or typed name(s)

Contact Information of person to receive all correspondence if different than applicant:

Phone Number Fax Number E-mail
 Postal Address Name
 City State Zip Code

Please notify the Planning and Zoning Section at 904.209.0675 if you need any special assistance or accommodations to attend the meeting or if you have any questions concerning this application.

Please list any applications currently under review or recently approved which may assist in the review of this application including the name of the PUD/PRD:



STRUCTURES INTERNATIONAL, LLC
...Providing Simple Solutions to Complex Problems®



BHIDE & HALL
ARCHITECTS

NORTH BEACH PARK IMPROVEMENT PROJECT

NORTH COASTAL OVERLAY DESIGN REVIEW BOARD SUBMITTAL
November 22, 2023



Prepared for:

St. Johns County Board of County Commissioners

St. Johns County Public Works

St. Johns County Parks & Recreation



STRUCTURES INTERNATIONAL, LLC

7563 PHILIPS HIGHWAY, BUILDING 600 • JACKSONVILLE, FLORIDA 32256 • TEL: (904) 296-2646



November 22, 2023

Teresa Bishop, AICP
Planning Division Manager
St. Johns County Board of County Commissioners
4040 Lewis Speedway
St. Augustine, FL 32084

Re: North Beach Park Improvements
North Coastal Overlay Design Review Board
SI Project no.: 22042

Dear Ms. Teresa Bishop:

Please find the enclosed North Coastal Overlay Design Review Board Application for the North Beach Park Improvement Project. North Beach Park is an existing St. Johns County Park along A1A Coastal Highway north of St. Augustine. The subject property is more specifically located north of the existing Villages of Vilano Residential Development, east of Palm Street and the North Beach Utility Wastewater Treatment Plant, south of Twenty Fourth Street, and west of A1A Coastal Highway. The existing park amenities includes a beach bridge walkover over A1A, a two stall bathroom with single shower, pavilion, playground, and parking facilities accommodating 88+/- vehicles.

The proposed project includes improvements to the existing parking areas and construction of a new restroom, pavilion, changing room, beach showers, and playground amenities. The improvement design of the site works to preserve the existing canopy of the property's mature established trees and grass open space areas. The proposed design works to enhance the enjoyment of the existing natural areas in the western portion of the site by clearing underbrush in select areas under existing tree canopies to be preserved and creation of a new coquina walking path. In the center of the park a new amenity area will be created. In the north end of the amenity area a new eight (8) stall restroom structure approximately 700 +/- square feet in floor area will be constructed. Adjacent to the restroom structure will be a beach wash off shower area. Anchoring the south end of the amenity area will be a new pavilion structure providing space for 4 picnic tables for park users enjoyment. In the center of the amenity area a new playground area will be constructed. Around the pavilion structure and throughout the amenity area sidewalks with coastal art installations, park benches, and Florida friendly landscaping will be provided for park users enjoyment. New concrete paved handicap parking will be constructed directly adjacent to the park amenities to provide accessible use of the center amenity area. At the existing beach walkover bridge area a 300 +/- square foot three stall changing room and beach shower structure will be constructed for the convenience of beach goers utilizing the walkover. The changing room beach shower structure area will include beach gear hooks and racks for convenience of beach goers using the showers. Additional formalized parking will also be created along twenty fourth street.

Please note that this application is a revised submission from that submitted in February which was approved by the board. There have been no changes to the vertical structures other than the final selection of the playground equipment that was made by the public at the community meeting held. Changes to the site design include elimination of the western auxiliary parking area for preservation of the existing grass field area and creation of additional formalized parking stalls along twenty fourth street.



Please find the following attachments included as part of this application:

ATTACHEMENTS

Attachment A: Concept site plan

Sheet C2.A: Site concept plan with aerial image underlay

Sheet C2.B: Miscellaneous amenity exhibit

Attachment B: Technical Site plans

Sheet C2: Overall site plan

Sheet C2.1 Enlarged partial site plan

Attachment C: Sheet C8: Landscape plan

Attachment D: Architectural building plans and elevations:

Sheet A2: Restroom building plans and elevations.

Sheet A3: Pavilion building plans, and elevations.

Sheet A4: Changing room building plans, and elevations.

Attachment E: Architectural renderings

Sheet A5.1: Aerial view

Sheet A5.2: Aerial view

Sheet A5.3: Pavilion view looking west

Sheet A5.4: Pavilion

Sheet A5.5: Playground area with shade sails

Sheet A5.6: Playground area with shade sails

Sheet A5.7: Restroom building

Sheet A5.8: Restroom building

Sheet A5.9: Changing stations

Sheet A5.10: Outdoor foot & shower towers

Attachment F: Sheet A6: Architectural finishes and material exhibit

Attachment G: Sheet A7.2: Playground equipment

Attachment H: Environmental signage

Of specific interest to the scope review board, please find the following code analysis of applicable sections of the St. Johns County Land Development Code Part 3.09 North Coastal Overlay District.

North Coastal Overlay District Code Analysis

3.09.04

In respect to and as a reflection of the coastal community in which the Park is located, the architectural style of the new structures to be provided have been modeled after the Florida Vernacular style. The low-rise, small-scale development to be created minimizes impact to the environment, while positively contributing to the North Coastal Overlay District community by providing a facility that is a pedestrian-oriented with suburban scale and character.

3.09.05 Lighting Criteria

The design will incorporate minimal low intensity bollard style lighting utilizing amber colored lights. The lighting will create minimal to no spillover at the property line. Reference the Site Plan for location of proposed bollard lights.

3.09.06.B Florida Vernacular

The architectural style of the new proposed restroom, pavilion, and changing station/beach shower structures has been modeled after the Florida Vernacular style. In keeping with this style, the new structures are generally simple, modest structures, rectangular in form with little elaboration. Hipped, gable roofs have been provided with either overhanging eaves or covered porch entries at each building. Exterior building finishes to be provided, reminiscent of this architectural style, include standing seam metal roofing and trim, painted stucco wall finishes, and exposed painted wood roof framing, trusses, and decking.



The color palette selected and to be used on all three structures reflect the coastal community in which the Park is located. Neutral nature-blending colors of beiges, tans, and whites at the exterior walls and columns of each structure will complement the natural metallic silver grey roofs of these facilities.

3.09.07 Signage Requirements The design intends to maintain but refurbish the existing park sign along A1A. The project also plans to include education and environmental signage. Reference the Site Amenity Exhibit.

Please also find the following a summary of items that may also be of interest to the board:

Summary of Miscellaneous Project Aspects

| | |
|-----------------------------------|--|
| Security Camera | The proposed project will include a security camera. Reference the site plan for location. |
| Park Hours | Park hours will be Dawn to Dusk. |
| Tree Canopy Preservation | The site improvement design made preservation of the existing tree canopy a priority. Existing tree canopy area preserved will add to the park aesthetic and shade for park users. |
| Enhanced Buffering | The proposed project provides the necessary buffering from adjacent properties and A1A Coastal Highway buffer. Enhanced buffering and preservation of a large width of existing vegetation is proposed along the southern property to provide enhanced buffering from the Villages of Vilano development above what is required by the SJCLDC |
| Florida Native Landscaping | The landscape design has strived to utilize Florida Native Landscaping that is well suited to the Park's coastal environment. |
| Playground | A new centrally located playground area will be provided to replace the existing playground and equipment located on the property. The playground equipment was selected by the public through the public meeting that was held. The playground area will include perimeter safety fencing, sun shade canopies, and park benches, and pour-in-place "PIP" rubber surfacing. Concrete paving will connect this area to the pavilion, restrooms, and adjacent parking providing for ADA accessibility throughout the amenity area. |
| Sidewalk Art Installations | The sidewalk areas around the central park area will include coastal inspired mosaic art installations featuring a compass rose around the pavilion with reference to the park name of "North Beach" and sea life creatures. |

The design team has worked with the St. Johns County Public Works and Parks and Recreation Departments to develop a design that balance various code requirements, overlay district requirements, and many park initiative goals to serve County park users and local area resident interests. We look forward to and thank you for your review of this project.

Sincerely,



John P. Grady, P.E.

STRUCTURES INTERNATIONAL, LLC

7563 PHILIPS HIGHWAY, BUILDING 600 • JACKSONVILLE, FLORIDA 32256 • TEL: (904) 296-2646



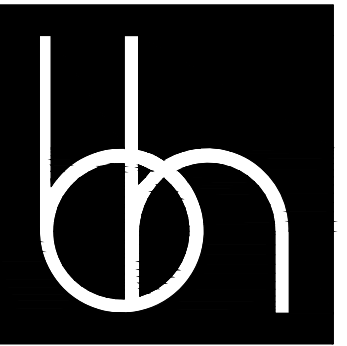
| NO. SHT | EXHIBIT/SHEET | NAME |
|--------------------|---------------|--------------------------------------|
| 1 | C2.B | BOLLARD LIGHT |
| 2 | C2.B | EXISTING PARK SIGN TO BE REFURBISHED |
| 3 | C2.B | PARK BENCH |
| 4 | C2.B | BIKE RACK |
| 5 | C2.B | TRUEGRID PERMEABLE PAVER |
| 6 | C2.B | POURED IN PLACE PLAYGROUND SURFACE |
| ATTACHMENT G.1,2,3 | | |
| 1 | C8 | NEW LANDSCAPE |
| 1 | A2 | RESTROOM |
| 1 | A3 | PAVILION |
| 1 | A4 | CHANGING ROOM |

- PLAN NOTES**
- 6 FT HIGH SOLID WOOD FENCE
 - PLAYGROUND SAFETY FENCE
 - SHOWER
 - SCREENED WASTE AND RECYCLE BIN
 - BEACH GEAR AND BOARD RACK
 - WHITE TRUE GRID STRIPING INDICATORS
 - YELLOW TRUE GRID STRIPING INDICATORS
 - PRESERVED TREE CANOPY
 - PRESERVED TREE
 - MOSAIC OR COLORED CONCRETE SIDEWALK ART OPPORTUNITIES
 - PRESERVED VEGETATION SCREENING
 - EXISTING PAVILION TO REMAIN
 - SECURITY CAMERA
 - COQUINA WALKING PATH
 - AUXILIARY PARKING
 - EDUCATIONAL ENVIRONMENTAL SIGNAGE
 - NEW PLAYGROUND



1.1 NORTH ARROW
SCALE: 1" = 15'

1 SITE CONCEPT PLAN
SCALE: 1" = 30'



BHIDE & HALL ARCHITECTS, P.A.
1329 KINGSLEY AVE., SUITE C
ORANGE PARK, FL 32073
PH: (904) 264-1919
WWW.BHIDE-HALL.COM
LIC. NO. AR0011549

| REVISIONS | DATE | DESCRIPTION |
|-----------|------------|-----------------------------|
| 1 | 09/29/2023 | REVISED PER SJCDRC COMMENTS |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

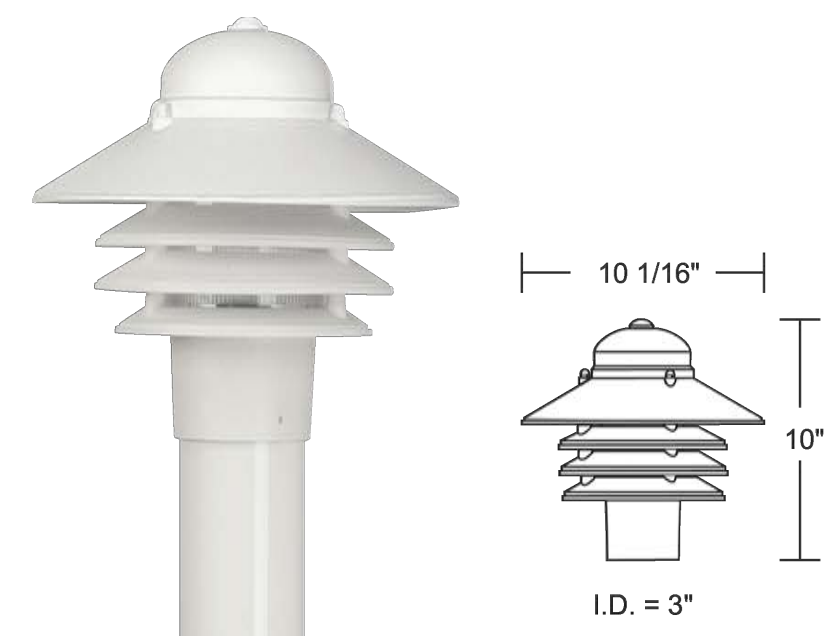
Engineer: John P. Grady License No: 69322



SITE CONCEPT PLAN AERIAL UNDERLAY

| | |
|---------|------------|
| DATE | 11/02/2023 |
| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 202224 |

C2.A



1 BOLLARD LIGHT
SCALE: N.T.S.

NOTE: THIS IMAGE IS NOT REFLECTIVE OF FINAL PROJECT DESIGN AND CONSTRUCTION SPECIFICATIONS; IT HAS BEEN PROVIDED SOLELY FOR THE PURPOSES OF CONVEYING GENERAL DESIGN INTENT TO THE REVIEW BOARD

Landscape Timber Trailside Benches with Back

The all-wood landscape timber trailside benches are great for adding a natural touch to any location.

| ITEM | PRODUCT ID | DIMENSIONS |
|---|------------|---------------------|
| 6' Landscape Timber Trailside Bench With Backrest | 14167806NA | 25.5"W x 40"H x 6'L |
| 8' Landscape Timber Trailside Bench With Backrest | 14167807NA | 25.5"W x 40"H x 8'L |



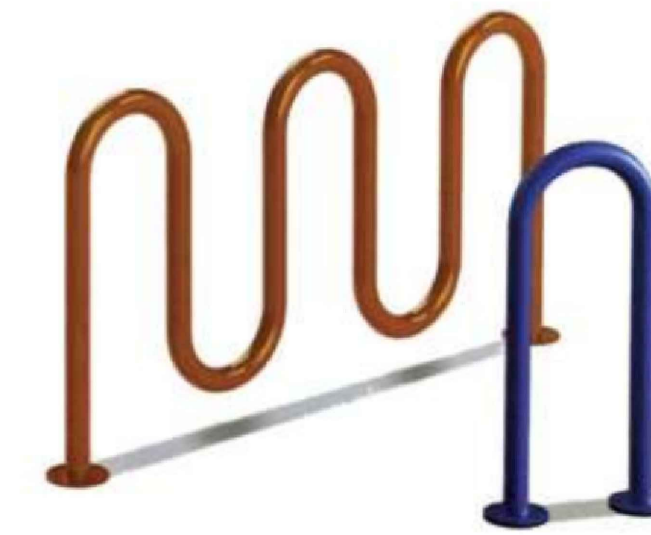
3 PARK BENCH
SCALE: N.T.S.



2 EXISTING PARK SIGN (TO BE REFURBISHED)
SCALE: N.T.S.

Serpentine Bicycle Racks
Serpentine series is great for securing few or many bicycles in outdoor spaces. Bicycle rack mounting is designed for either a surface-mount or in-ground and is available in the powder-coat, galvanized, or Plascoat™ color of your choosing.

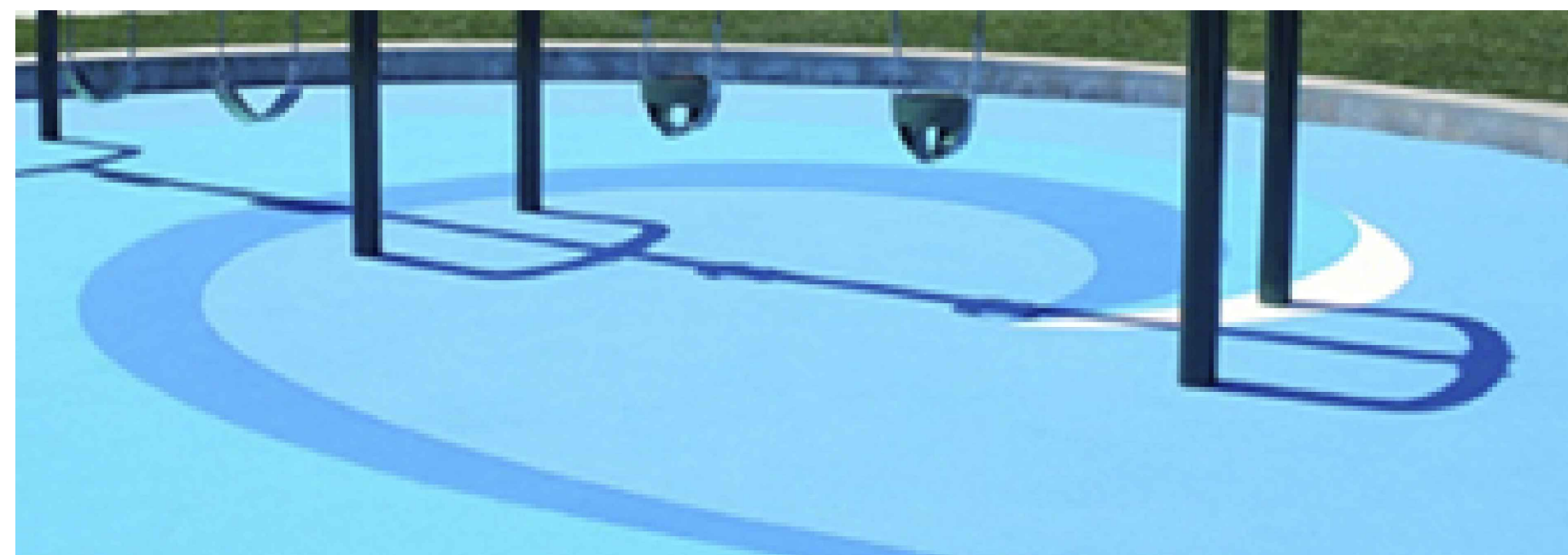
| ITEM | PRODUCT ID | DIMENSIONS |
|--|---------------|-------------------|
| 1-Hump Serpentine Bike Rack, Surface-Mounted | 4112020201-01 | 18"W x 36"H x 6"D |
| 2-Hump Serpentine Bike Rack, Surface-Mounted | 4112020201-02 | 43"W x 36"H x 6"D |
| 3-Hump Serpentine Bike Rack, Surface-Mounted | 4112020201-03 | 66"W x 36"H x 6"D |
| 4-Hump Serpentine Bike Rack, Surface-Mounted | 4112020201-04 | 93"W x 36"H x 6"D |
| 1-Hump Serpentine Bike Rack, In-Ground Mounted | 4112020101-01 | 18"W x 46"H x 6"D |
| 2-Hump Serpentine Bike Rack, In-Ground Mounted | 4112020101-02 | 43"W x 46"H x 6"D |
| 3-Hump Serpentine Bike Rack, In-Ground Mounted | 4112020101-03 | 66"W x 46"H x 6"D |
| 4-Hump Serpentine Bike Rack, In-Ground Mounted | 4112020101-04 | 93"W x 46"H x 6"D |



4 BIKE RACK
SCALE: N.T.S.



5 TRUEGRID PERMEABLE PAVER
SCALE: N.T.S.



6 PIP PLAYGROUND SURFACE
SCALE: N.T.S.

NOTE: THIS IMAGE IS NOT REFLECTIVE OF FINAL PROJECT DESIGN AND CONSTRUCTION SPECIFICATIONS; IT HAS BEEN PROVIDED SOLELY FOR THE PURPOSES OF CONVEYING GENERAL DESIGN INTENT TO THE REVIEW BOARD

| DATE | DESCRIPTION | REVISED PER SJCDRC COMMENTS |
|------------|-------------|-----------------------------|
| 09/29/2023 | | |

| | |
|-------------------------------|----------------------|
| Engineer: John P. Grady | License No: 69323 |
|-------------------------------|----------------------|

| | |
|---------|------------|
| DATE | 11/02/2023 |
| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 202224 |

| PROPERTY INFORMATION TABLE | |
|-------------------------------|--|
| PROPERTY 911 ADDRESS | 3721 COASTAL HWY, ST. AUGUSTINE, FL 32084 |
| PARCEL IDENTIFICATION NUMBERS | 1462170000, 1462180120, 1462200010, 1462190000 |
| FEMA MAP PANEL NUMBER | 12109C0308J EFFECTIVE 12/7/2018 |
| FLOOD ZONE | ZONE AE BFE=6, ZONE X |

| BUILDING STRUCTURE DATA TABLE | | | | | | | |
|-------------------------------|----------------------------|--|--------|--|-------------------|---------------|--------|
| NO. | DESCRIPTION | FOOTPRINT AREA ¹ (FT ²) | FLOORS | FLOOR AREA ¹ (FT ²) | TYPE ² | OCCUPANT LOAD | HEIGHT |
| 1 | EX. RESTROOM TO BE REMOVED | 394 | 1 | 394 | | | |
| 2 | EX. PAVILLION TO REMAIN | 665 | 1 | 665 | VB | 44 | 12'-6" |
| 3 | NEW RESTROOM | 665 | 1 | 665 | VB | 20 | 17'-4" |
| 4 | NEW CHANGING ROOM | 152 | 1 | 152 | VB | 7 | 10'-4" |
| 5 | NEW PAVILLION | 576 | 1 | 576 | VB | 40 | 17'-7" |
| TOTAL PROPOSED ³ | | 1,393 | | 1,393 | | | |

- TABLE NOTES:
- BUILDING AREAS MEASURED TO EXTERIOR OF EXTERIOR WALLS.
 - FLORIDA BUILDING CODE FIRE-RESISTANCE RATING TYPE OF BUILDING CONSTRUCTION.
 - INCLUDES EXISTING BUILDING TO REMAIN.

| SITE AREA TABLE | |
|--|----------------------|
| TOTAL CONTIGUOUS PROPERTY AREA | 4.50 ACRES |
| EXISTING GRAVEL PARKING, CURBING, & PAVEMENT TO BE REMOVED | 0.86 ACRES |
| TOTAL DISTURBED PROJECT AREA | 2.41 ACRES |
| DISTURBED AREA RATIO | 54% |
| TOTAL PROPOSED BUILDING ¹ | 1393 FT ² |
| BUILDING COVERAGE | <1% |
| TOTAL FLOOR AREA | 1393 FT ² |
| FLOOR AREA RATIO (FAR) | <1% |
| PROPOSED COQUINA PARKING AREA | 0.81 ACRES |
| PROPOSED CONCRETE AND OTHER IMPERVIOUS AREAS | 0.36 ACRES |
| TOTAL IMPERVIOUS (INCLUDING COQUINA & BUILDING) | 1.17 ACRES |
| PERCENT IMPERVIOUS (EXCLUDING SEMI-IMPERVIOUS COQUINA) | 8% |
| PERCENT IMPERVIOUS (INCLUDES SEMI-IMPERVIOUS COQUINA) | 26% |

- TABLE NOTES:
- REFERENCE BUILDING STRUCTURE DATA TABLE
 - INCLUDES POURED IN PLACE PLAYGROUND SURFACE

| PARKING TABLE | |
|---------------------------------------|-----------------------|
| EXISTING PARKING SPACES TO BE REMOVED | 88 |
| PROPOSED PRIMARY PARKING AREA SPACES | 105 (INCLUDING 6 ADA) |
| PROPOSED 24TH PARKING AREA SPACES | 26 |
| TOTAL PROPOSED PARKING SPACES | 131 |

| SITE ALIGNMENT GEOMETRY TABLES | | | | | |
|--------------------------------|--------|--------|----------------------|------------|--------------|
| ALIGNMENT 1 | | | | | |
| SEGMENT | RADIUS | LENGTH | LINE/CHORD DIRECTION | DELTA | CHORD LENGTH |
| L1 | | 22.98 | S24° 28' 41.13"E | | |
| C1 | 50.00 | 17.26 | S14° 35' 18.66"E | 19° 46'45" | 17.17 |
| L3 | | 35.58 | S4° 41' 56.19"E | | |
| ALIGNMENT 2 | | | | | |
| SEGMENT | RADIUS | LENGTH | LINE/CHORD DIRECTION | DELTA | CHORD LENGTH |
| C3 | 75.50 | 237.19 | N73° 00' 11.00"E | 180°00'00" | 151.00 |
| L5 | | 106.56 | N16° 59' 49.00"W | | |
| C2 | 75.50 | 237.19 | S73° 00' 11.00"W | 180°00'00" | 151.00 |
| L4 | | 106.56 | S16° 59' 49.00"E | | |

| POINT TABLE | | |
|-------------|------------|-----------|
| Point # | Northing | Easting |
| 1 | 2038417.43 | 560907.65 |
| 2 | 2038442.42 | 560890.20 |
| 3 | 2038434.39 | 560874.18 |
| 4 | 2038414.63 | 560880.22 |
| 5 | 2038494.55 | 560864.59 |
| 6 | 2038509.56 | 560854.76 |
| 7 | 2038290.54 | 560709.96 |
| 10 | 2038467.57 | 560776.03 |
| 12 | 2038388.92 | 560814.36 |
| 13 | 2038330.27 | 560790.48 |
| 14 | 2038330.27 | 560814.48 |
| 15 | 2038297.74 | 560808.98 |
| 16 | 2038301.73 | 560821.96 |
| 17 | 2038371.81 | 560840.50 |
| 18 | 2038345.50 | 560754.44 |
| 19 | 2038448.82 | 560726.57 |
| 20 | 2038464.72 | 560731.29 |
| 21 | 2038483.60 | 560793.04 |
| 22 | 2038473.07 | 560805.84 |
| 23 | 2038534.09 | 560669.96 |

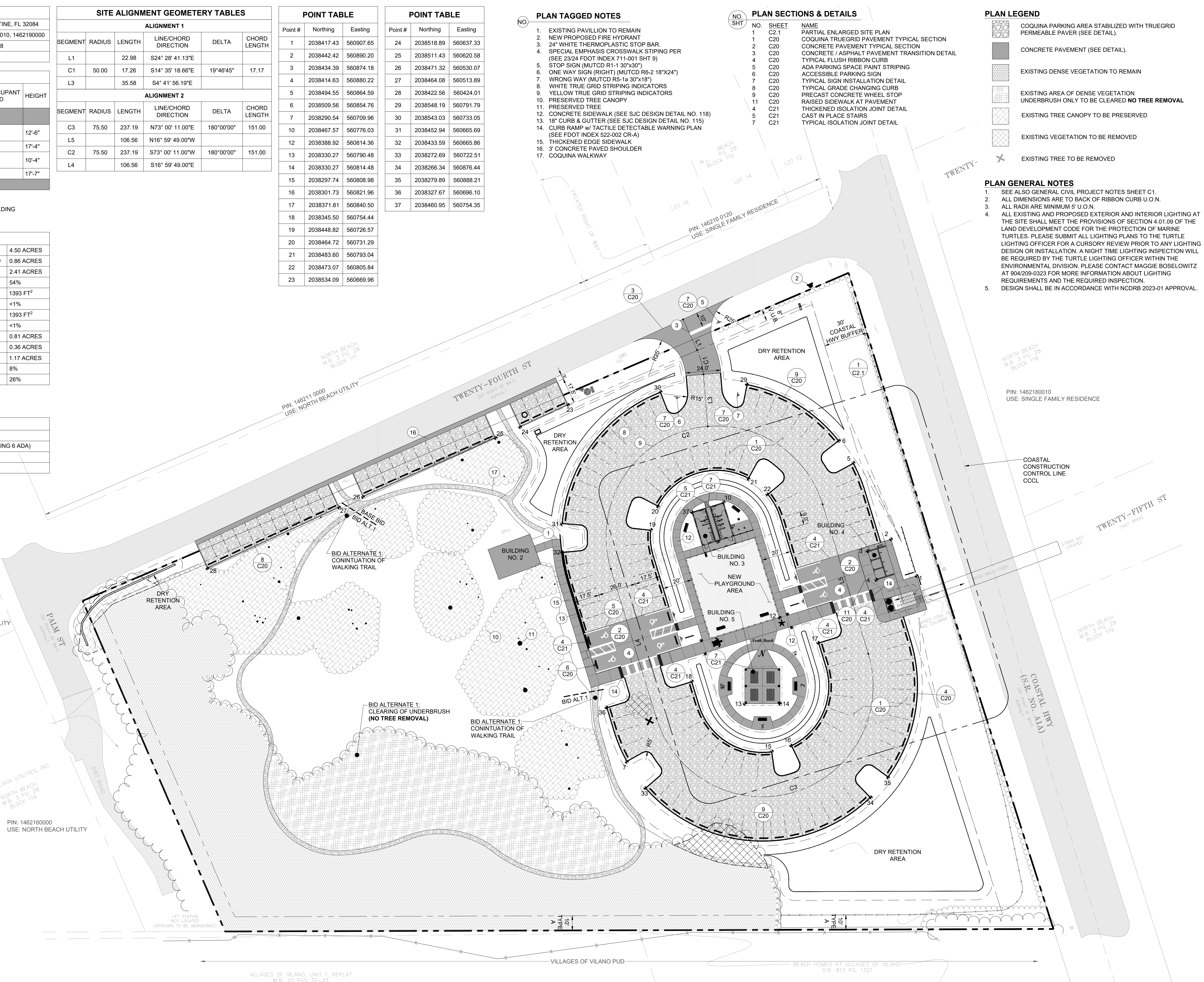
| POINT TABLE | | |
|-------------|------------|-----------|
| Point # | Northing | Easting |
| 24 | 2038518.89 | 560637.33 |
| 25 | 2038511.43 | 560620.58 |
| 26 | 2038471.32 | 560530.07 |
| 27 | 2038464.08 | 560513.89 |
| 28 | 2038422.56 | 560424.01 |
| 29 | 2038548.19 | 560791.79 |
| 30 | 2038543.03 | 560733.05 |
| 31 | 2038452.99 | 560665.69 |
| 32 | 2038433.59 | 560665.86 |
| 33 | 2038272.69 | 560722.51 |
| 34 | 2038266.34 | 560876.44 |
| 35 | 2038279.89 | 560888.21 |
| 36 | 2038327.67 | 560696.10 |
| 37 | 2038460.95 | 560754.35 |

- PLAN TAGGED NOTES
- EXISTING PAVILLION TO REMAIN
 - NEW PROPOSED FIRE HYDRANT
 - 24" WHITE THERMOPLASTIC STOP BAR
 - SPECIAL EMPHASIS CROSSWALK STIPING PER (SEE 23/24 FDOT INDEX 711-001 SHT 9)
 - STOP SIGN (MUTCD R1-1 30"x30")
 - ONE WAY SIGN (RIGHT) (MUTCD R6-2 18"x24")
 - WRONG WAY (MUTCD R5-1a 30"x18")
 - WHITE TRUE GRID STRIPING INDICATORS
 - YELLOW TRUE GRID STRIPING INDICATORS
 - PRESERVED TREE CANOPY
 - PRESERVED TREE
 - CONCRETE SIDEWALK (SEE SJC DESIGN DETAIL NO. 118)
 - 18" CURB & GUTTER (SEE SJC DESIGN DETAIL NO. 115)
 - CURB RAMP w/ TACTILE DETECTABLE WARNING PLAN (SEE FDOT INDEX 522-002 CR-A)
 - THICKENED EDGE SIDEWALK
 - 3" CONCRETE PAVED SHOULDER
 - COQUINA WALKWAY

| PLAN SECTIONS & DETAILS | | |
|-------------------------|-----------|---|
| NO. SHT | NO. SHEET | NAME |
| 1 | C21 | PARTIAL ENLARGED SITE PLAN |
| 1 | C20 | COQUINA TRUEGRID PAVEMENT TYPICAL SECTION |
| 2 | C20 | CONCRETE PAVEMENT TYPICAL SECTION |
| 3 | C20 | CONCRETE / ASPHALT PAVEMENT TRANSITION DETAIL |
| 4 | C20 | TYPICAL FLUSH RIBBON CURB |
| 5 | C20 | ADA PARKING SPACE PAINT STRIPING |
| 6 | C20 | ACCESSIBLE PARKING SIGN |
| 7 | C20 | TYPICAL SIGN INSTALLATION DETAIL |
| 8 | C20 | TYPICAL GRADE CHANGING CURB |
| 9 | C20 | PRECAST CONCRETE WHEEL STOP |
| 11 | C20 | RAISED SIDEWALK AT PAVEMENT |
| 4 | C21 | THICKENED ISOLATION JOINT DETAIL |
| 5 | C21 | CAST IN PLACE STAIRS |
| 7 | C21 | TYPICAL ISOLATION JOINT DETAIL |

| PLAN LEGEND | |
|-------------|---|
| | COQUINA PARKING AREA STABILIZED WITH TRUEGRID PERMEABLE PAVER (SEE DETAIL). |
| | CONCRETE PAVEMENT (SEE DETAIL). |
| | EXISTING DENSE VEGETATION TO REMAIN |
| | EXISTING AREA OF DENSE VEGETATION UNDERBRUSH ONLY TO BE CLEARED NO TREE REMOVAL |
| | EXISTING TREE CANOPY TO BE PRESERVED |
| | EXISTING VEGETATION TO BE REMOVED |
| | EXISTING TREE TO BE REMOVED |

- PLAN GENERAL NOTES
- SEE ALSO GENERAL CIVIL PROJECT NOTES SHEET C1.
 - ALL DIMENSIONS ARE TO BACK OF RIBBON CURB U.O.N.
 - ALL RADII ARE MINIMUM 5' U.O.N.
 - ALL EXISTING AND PROPOSED EXTERIOR AND INTERIOR LIGHTING AT THE SITE SHALL MEET THE PROVISIONS OF SECTION 4.01.09 OF THE LAND DEVELOPMENT CODE FOR THE PROTECTION OF MARINE TURTLES. PLEASE SUBMIT ALL LIGHTING PLANS TO THE TURTLE LIGHTING OFFICER FOR A CURSORY REVIEW PRIOR TO ANY LIGHTING DESIGN OR INSTALLATION. A NIGHT TIME LIGHTING INSPECTION WILL BE REQUIRED BY THE TURTLE LIGHTING OFFICER WITHIN THE ENVIRONMENTAL DIVISION. PLEASE CONTACT MAGGIE BOSELOWITZ AT 904/209-0323 FOR MORE INFORMATION ABOUT LIGHTING REQUIREMENTS AND THE REQUIRED INSPECTION.
 - DESIGN SHALL BE IN ACCORDANCE WITH NCDRB 2023-01 APPROVAL.



1 OVERALL SITE PLAN
SCALE: 1" = 30'



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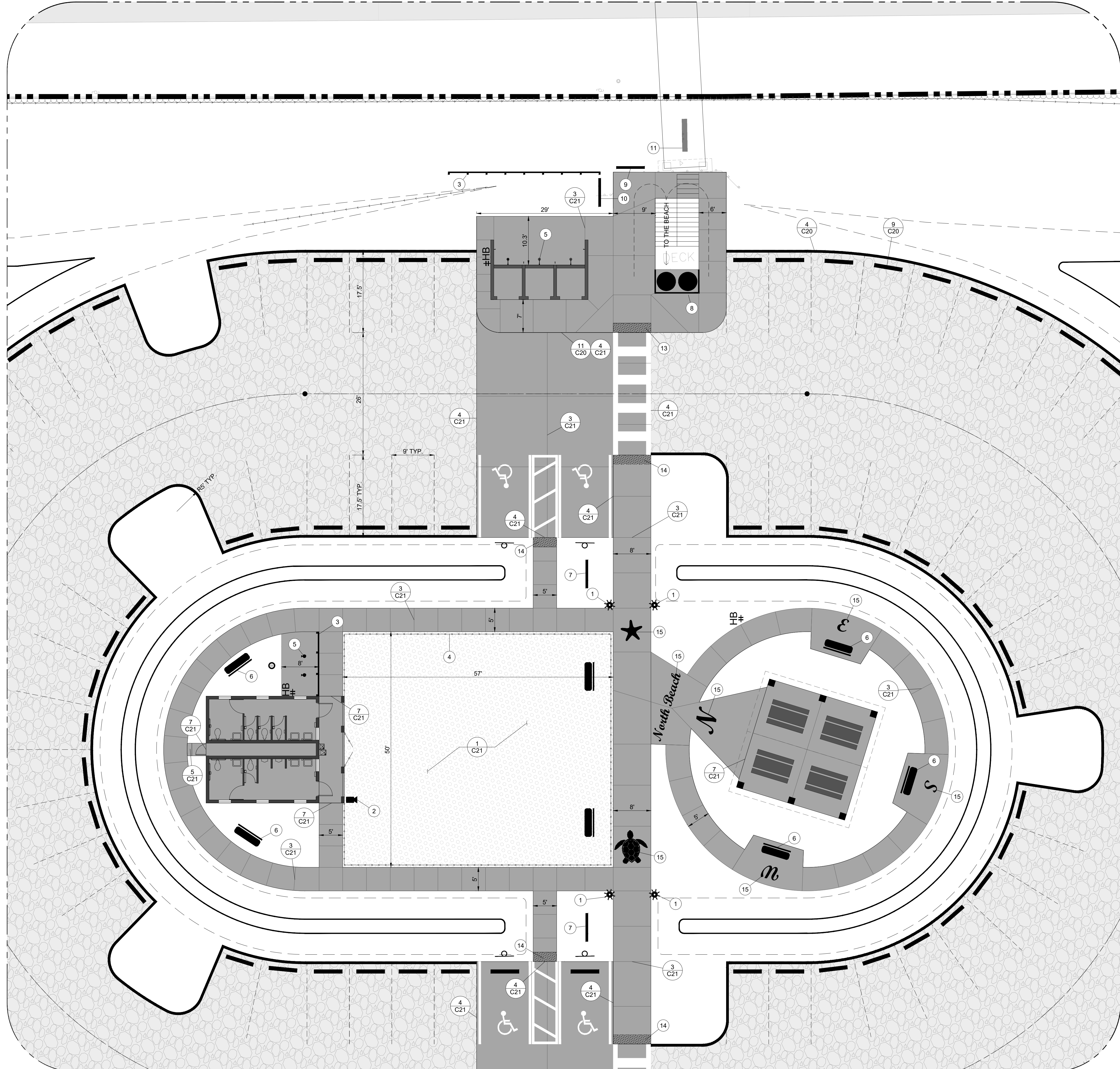
| DATE | DESCRIPTION |
|------------|-----------------------------|
| 09/29/2023 | REVISED PER SJCDRC COMMENTS |

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3721 COASTAL HIGHWAY
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STRUCTURES INTERNATIONAL, LLC
STRUCTURES INTERNATIONAL
750 PALM BEACH BOULEVARD, SUITE 800
JACKSONVILLE, FLORIDA 32202
(904) 296-0000

OVERALL SITE PLAN

| | |
|---------|------------|
| DATE | 09/29/2023 |
| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 202224 |



PLAN LEGEND

- COQUINA PARKING AREA STABILIZED WITH TRUEGRID PERMEABLE PAVER (SEE DETAIL).
- CONCRETE PAVEMENT (SEE DETAIL).

PLAN GENERAL NOTES

1. SEE ALSO GENERAL CIVIL PROJECT NOTES SHEET C1.
2. ALL DIMENSIONS ARE TO BACK OF RIBBON CURB U.O.N.
3. ALL RADII ARE MINIMUM 5' U.O.N.

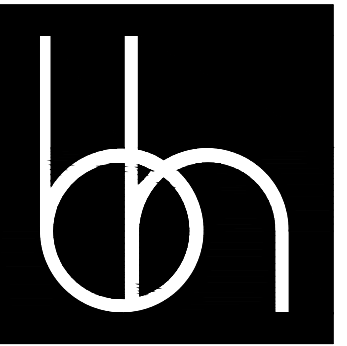
PLAN SECTIONS & DETAILS

| NO. | SHEET | NAME |
|-----|-------|--|
| 4 | C20 | TYPICAL FLUSH RIBBON CURB |
| 9 | C20 | PRECAST CONCRETE WHEEL STOP |
| 3 | C21 | POURED IN PLACE PIP PLAYGROUND SURFACE SECTION |
| 1 | C21 | CONTRACTION JOINT DETAIL |
| 4 | C21 | THICKENED ISOLATION JOINT DETAIL |
| 5 | C21 | CAST IN PLACE STAIRS |
| 7 | C21 | TYPICAL ISOLATION JOINT DETAIL |

PLAN TAGGED NOTES

1. BOLLARD LIGHT
2. SECURITY CAMERA
3. FENCE (TREX OR APPROVED EQUAL) COLOR WHITE OR LIGHT GREY (SUBMIT COLOR SAMPLE FOR OWNER APPROVAL). POSTS SHALL BE EMBEDDED A MINIMUM 36" ENCASED IN 12" CONCRETE HOLE. FASTENERS SHALL BE STAINLESS STEEL.
4. 48" HIGH SAFETY FENCE. FENCE AND GATES SHALL MEET ASTM F2049-11(2017) AND SHALL BE AN OPEN VERTICAL PICKET STYLE WHITE OR LIGHT GREY IN COLOR (SUBMIT COLOR SAMPLE FOR OWNER APPROVAL). FENCE MATERIAL SHALL BE ALUMINUM OR COMPOSITE MATERIAL AND ALL FASTENERS AND HARDWARE SHALL BE STAINLESS STEEL.
5. SHOWER
6. PARK BENCH
7. BICYCLE RACK
8. SCREENED WASTE AND RECYCLE BIN
9. EDUCATIONAL & ENVIRONMENTAL SIGNAGE
10. BEACH GEAR AND BOARD RACK
11. EXISTING PARK SIGN TO BE REFURBISHED
12. WALKOVER MAINTENANCE A1A BYPASS LOCATION
13. CURB RAMP w/ TACTILE DETECTABLE WARNING PLAN (SEE FDOT INDEX 522-002 CR-A)
14. TACTILE DETECTABLE WARNING PER FDOT INDEX 522-002
15. SIDEWALK ART INSTALLATION

1 ENLARGED PARTIAL SITE PLAN
SCALE: 1" = 10'



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|-----|------------|-----------------------------|
| 1 | 09/29/2023 | REVISED PER SJCDRC COMMENTS |

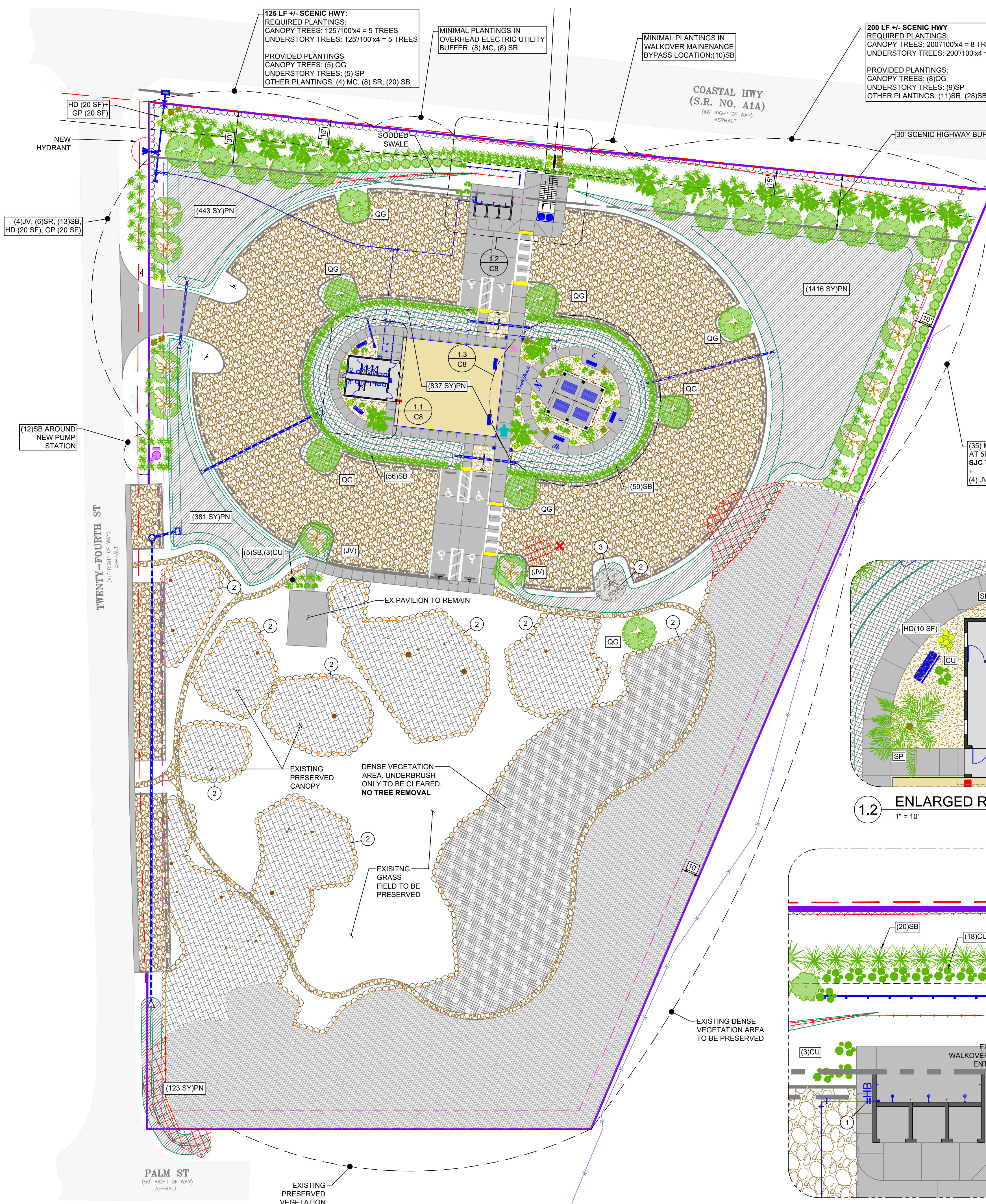
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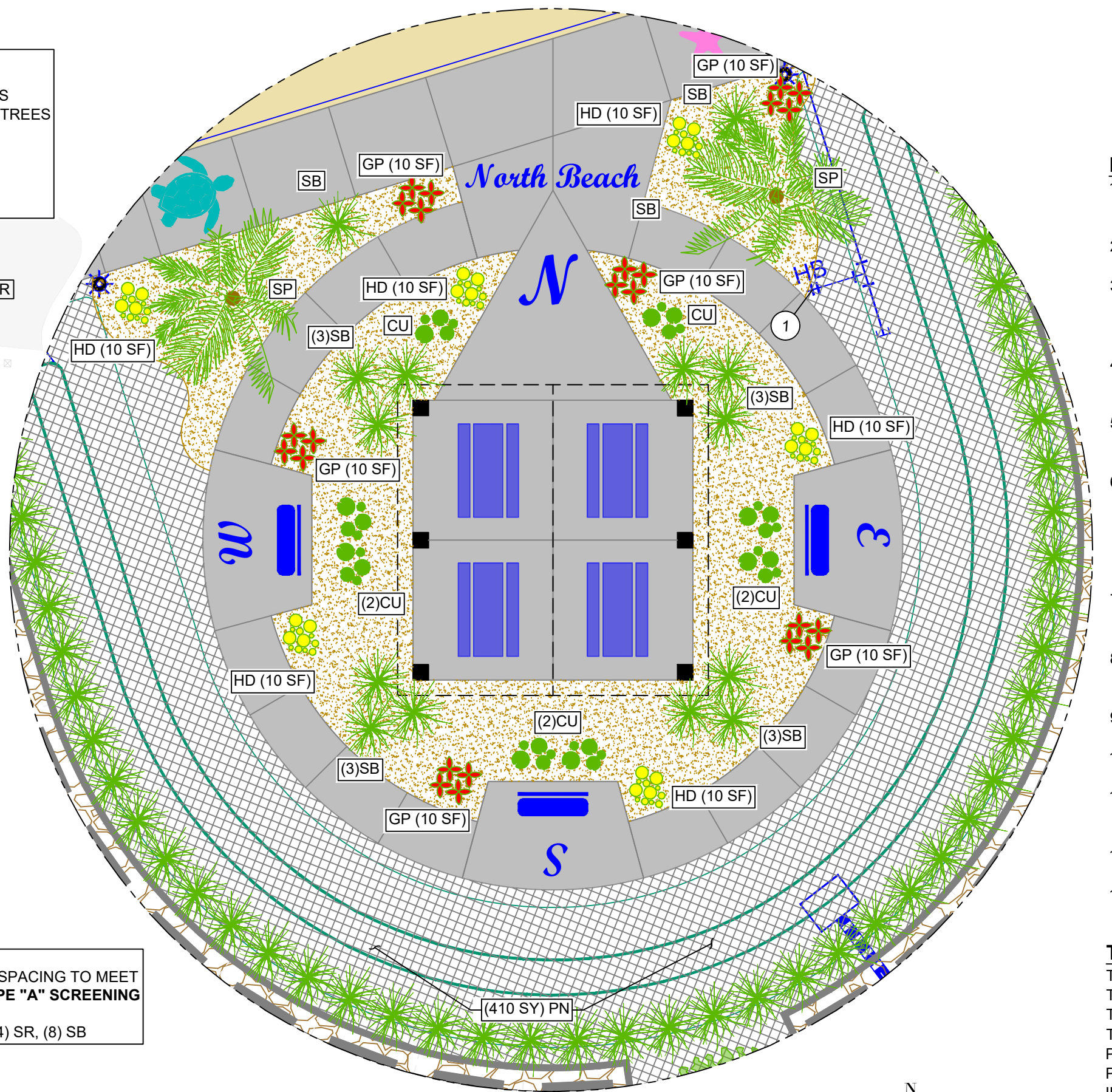
ENLARGED SITE PLAN

| | |
|---------|------------|
| DATE | 09/29/2023 |
| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 202224 |

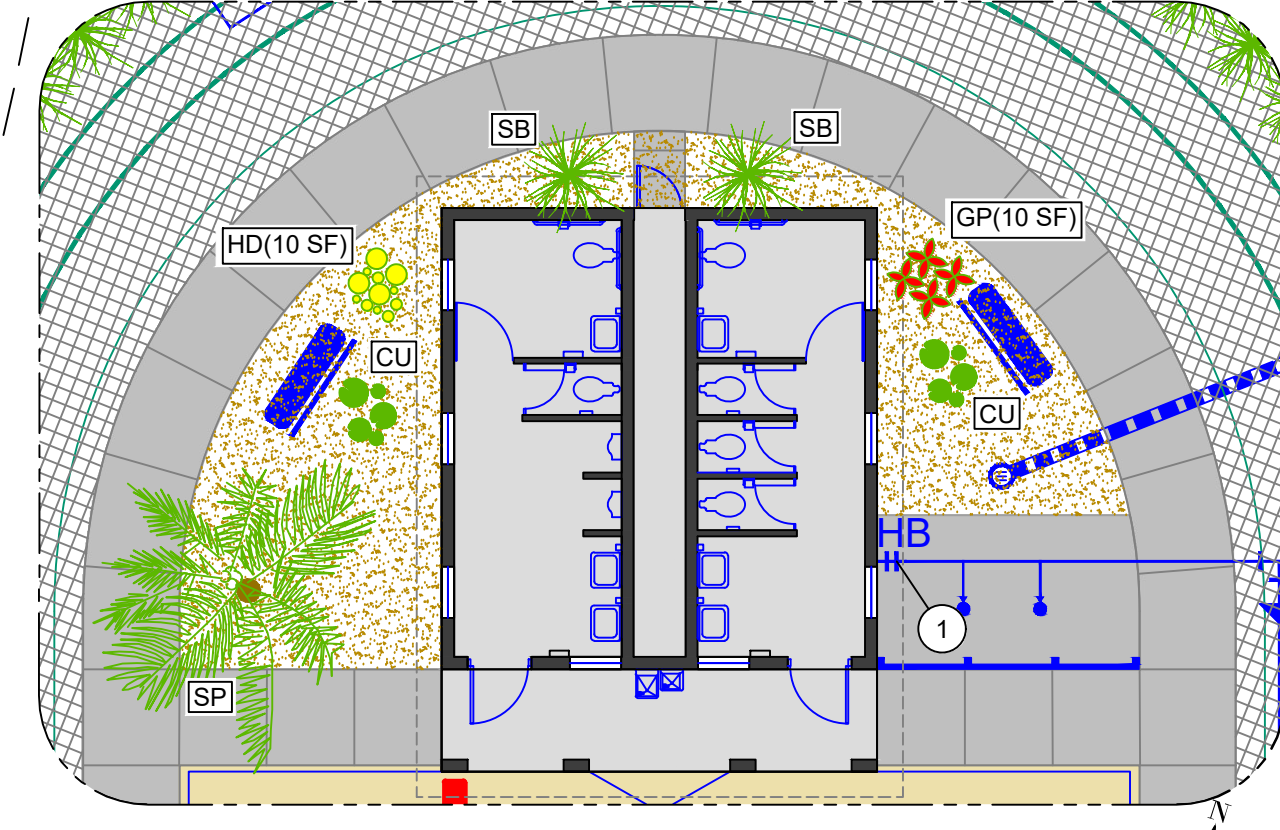
C2.1



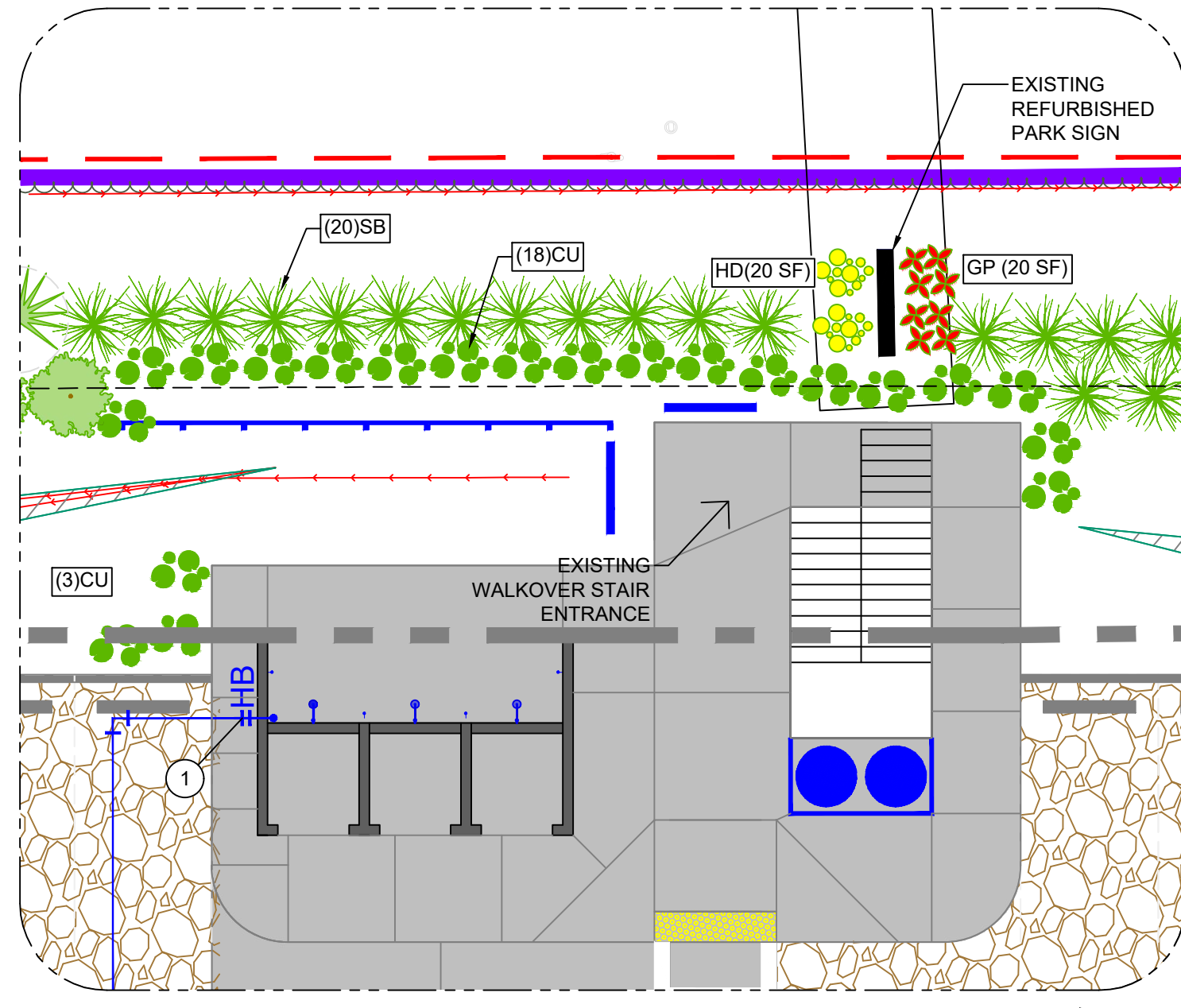
1 LANDSCAPE PLAN
SCALE: 1" = 30'



1.3 ENLARGED PAVILLION AREA
1" = 10'



1.2 ENLARGED RESTROOM AREA
1" = 10'



1.1 ENLARGED WALKOVER AREA
1" = 10'

- PLAN TAGGED NOTES**
- HOSE BIB
 - PROPOSED TREE PROTECTION AREA (SEE FOOT INDEX 110-100)
 - EXISTING 7' OAK TO BE PRESERVED.
- LANDSCAPE PLAN NOTES:**
- ANY DISTURBED AREAS NOT SPECIFIED TO RECEIVE SOD OR OTHER GROUND COVER PER THIS PLAN SHALL BE STABILIZED WITH HYDROSEEDING BAHIA.
 - CONTRACTOR SHALL ESTABLISH ALL NEW TREE PLANTINGS WITH GATOR BAGS MAINTAINED UNTIL OWNER'S FINAL INSPECTION AND ACCEPTANCE.
 - VEGETATION THAT EXCEEDS TWENTY-FIVE (25) FEET IN HEIGHT AT MATURITY SHOULD NOT BE PLANTED CLOSER THAN FIFTEEN (15) FEET OF THE VERTICAL PLANE OF AN EXISTING POWER LINE, EXCLUDING SERVICE WIRES.
 - BALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE CUT AWAY FROM TOP ONE-THIRD OF ROOT BALL.
 - NON-CANOPY TREES SHALL NOT BE PLANTED CLOSER THAN 10 FEET FROM OTHER TREES AND CANOPY TREES NO CLOSER THAN 20-30 FEET, DEPENDING ON SPECIES.
 - PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR GRADE #1 OR BETTER AS GIVEN IN THE LATEST "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES OR TO THE STANDARDS AS GIVEN IN THE LATEST "AMERICAN STANDARD FOR NURSERY STOCK," AMERICAN NATIONAL STANDARDS INSTITUTE.
 - PINE BARK OR PINE STRAW MULCH SHALL BE PROVIDED A MINIMUM OF TWO TO THREE INCHES IN DEPTH AROUND ALL NEWLY PLANTED LANDSCAPING.
 - A MULCH RING FOR ALL NEWLY PLANTED TREES SHALL BE PROVIDED AT LEAST FIVE (5) FEET IN DIAMETER AND NOT CLOSER THAN SIX (6) INCHES FROM THE TREE TRUNK.
 - TREES SHALL HAVE A MINIMUM HEIGHT OF (8) EIGHT TO (10) FEET AND (2) TWO INCHES OF CALIPER.
 - SHRUB LINES ARE TO BE PLANTED AT THE REQUIRED MINIMUM HEIGHT, NOT BY CONTAINER SIZE.
 - SOIL IN TREE ISLANDS SHALL HAVE AT LEAST 12" OF SUITABLE SOIL FOR TREE PLANTINGS, AND BE VOID OF ANY CONSTRUCTION DEBRIS OR UNSUITABLE MATERIALS.
 - TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM THE CENTERLINE OF UNDERGROUND UTILITIES.
 - ALL SODDING PLACED ON ANY SLOPE GREATER THAN 3:1 SHALL BE STAGGERED AND STAKED.
- TREE CALCULATIONS:**
- | | |
|-------------------------------------|-----------------------|
| TOTAL REMOVED TREE INCHES | = 8 INCHES |
| TOTAL PRESERVED TREE INCHES | = 1684 INCHES |
| TOTAL PLANTED TREE INCHES | = 185 INCHES |
| TOTAL TREE INCHES PLANTED+PRESERVED | = 1869 INCHES |
| PROJECT AREA | = 4.5 ACRES |
| PROPOSED INCHES PER ACRE PROVIDED | = 415 INCHES PER ACRE |
| INCHES PRE ACRE REQUIRED | = 80 INCHES PER ACRE |
- IRRIGATION NOTES:**
- THE CONTRACTOR SHALL INCLUDE IN THEIR SCOPE OF CONSTRUCTION AN AUTOMATIC IRRIGATION DESIGN FOR THE CENTER AMENITY LANDSCAPE AREAS INCLUDING UP TO THE PERIMETER BERMUDA SOD SWALE. CONTRACTOR SHALL PREPARE AN IRRIGATION DESIGN PREPARED IN ACCORDANCE WITH THE FLORIDA PLUMBING CODE APPENDIX F AND SUBMIT TO THE EOR FOR APPROVAL.
 - ALL OTHER LANDSCAPE AREAS SHALL BE MANUALLY WATERED UTILIZING PROVIDED HOSE BIBS WITH A MINIMUM FREQUENCY OF ONCE A WEEK DURING DRY PERIODS OR AS OTHERWISE REQUIRED TO PROPERLY MAINTAIN THE LANDSCAPING PER UF/IFAS RECOMMENDATIONS AND INDUSTRY STANDARDS.

| LANDSCAPE SCHEDULE | | | | | | |
|---------------------|---|-------------------------|-----|---------|-------------------|------------------------------------|
| SYMBOL | COMMON NAME | SCIENTIFIC NAME | TAG | QTY | TOTAL TREE INCHES | SPECIFICATIONS |
| TREES | | | | | | |
| | SAND LIVE OAK | QUERCUS GERMINATA | QG | 21 | 63 | 3" CALIPER, 10' TALL |
| | SOUTHERN RED CEDAR | JUNIPERUS VIRGINIANA | JV | 10 | 20 | 2" CALIPER, 10' TALL |
| | CABBAGE PALM | SABEL PALMETTO | SP | 17 | 102 | 6" CALIPER, 15' CLEAR TRUNK HEIGHT |
| BUSHES | | | | | | |
| | WAX MYRTLE | MYRICA CERIFERA | MC | 47 | | 4" CALIPER, 15' TALL |
| | SEAGRAPE | COCOLOBA UVIFERA | CU | 34 | | 24" HEIGHT |
| | SAW PALMETTO | SERENOA REPENS | SR | 37 | | 3 GALLON |
| GROUND COVER | | | | | | |
| | SAND CORDGRASS | SPARTINA BAKERI | SB | 238 | | 3 GALLON |
| | BEACH SUNFLOWER | HELIANTHUS DEBILLIS | HD | 14 SY | | |
| | BLANKET FLOWER | GALLARDIA PULCHELLA | GP | 14 SY | | |
| | BERMUDA SOD | CYNODON DACTYLON | CD | 837 SY | | |
| | BAHIA SOD | PASPULUM NOTATUM FLUGGE | PN | 2364 SY | | |
| | WASHED SHELL | | | 220 SY | | |
| | COQUINA | | | 4417 SY | | |
| | PRESERVED TREE CANOPY | | | 2152 SY | | |
| | DENSE UNDERBRUSH ONLY TO BE CLEARED (TREES TO BE PRESERVED) | | | 1434 SY | | |
| | PRESERVED DENSE VEGETATION | | | 3588 SY | | |
| | VEGETATION TO BE CLEARED | | | 136 SY | | |

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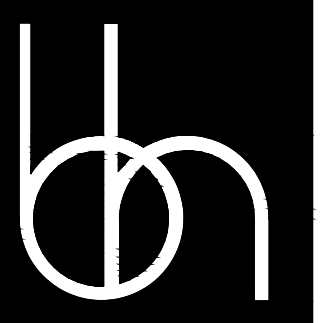
NORTH BEACH PARK RENOVATION

3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

STRUCTURES INTERNATIONAL, LLC
STRUCTURES INTERNATIONAL, LLC
7500 HUNTERS HARBOR, BUILDING 610
JACKSONVILLE, FLORIDA 32216
904.726.9196 © PROJECT NO. 2023

| DATE | BY |
|------------|----------------|
| 09/29/2023 | D.B. AJB |
| | C.B. JPC |
| | JOB NO. 202224 |

C6



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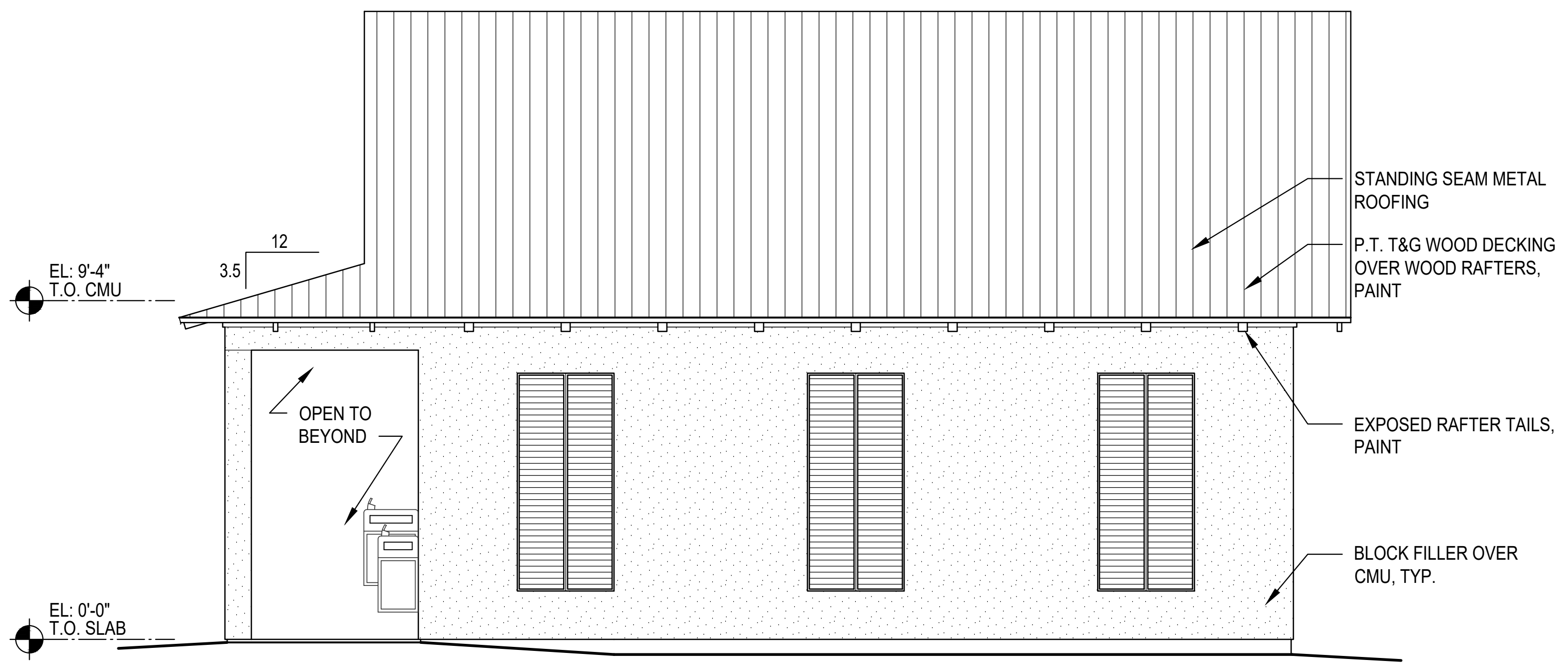
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Architect: Brian Sawyer License No. AR0091953

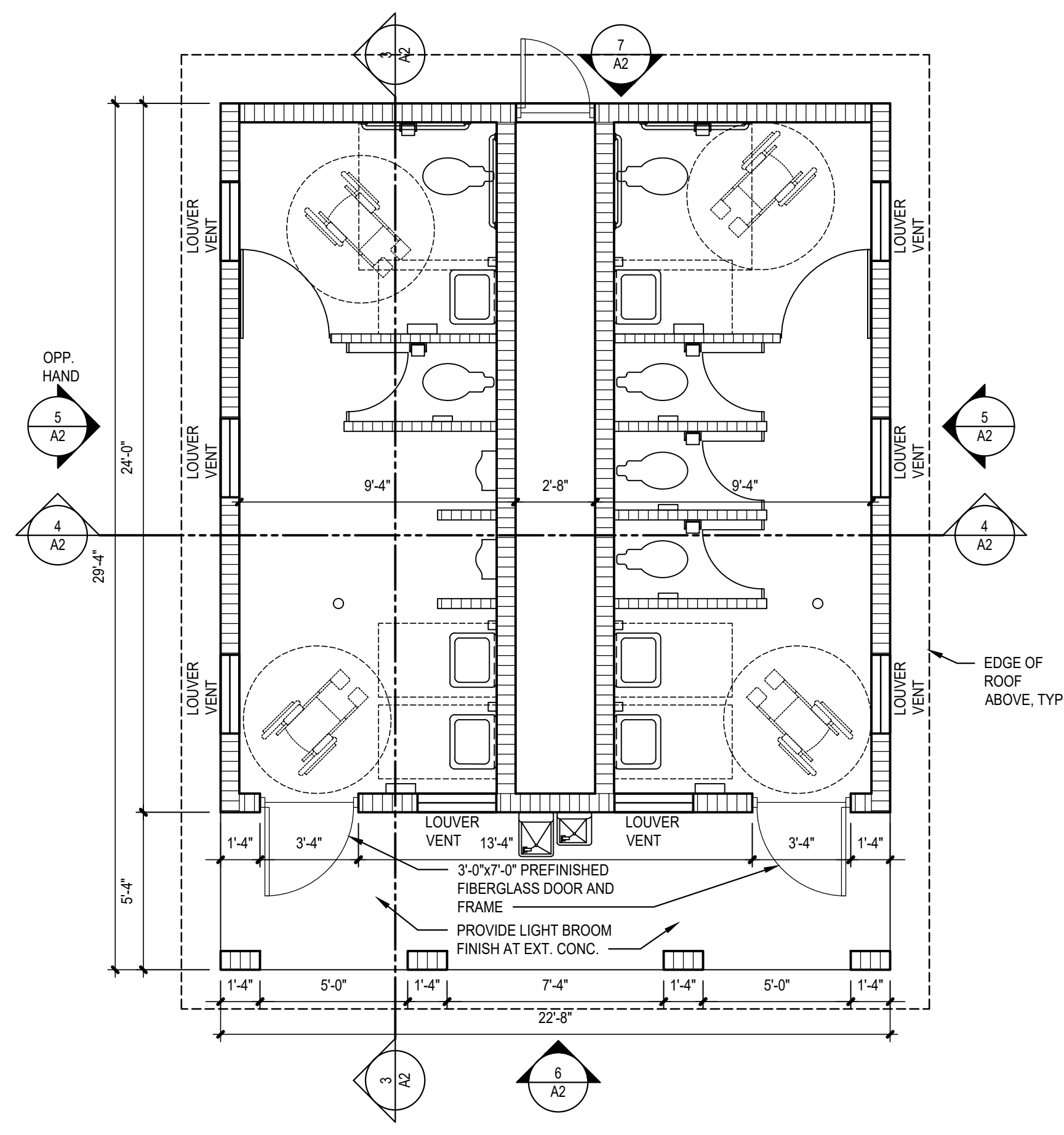
RESTROOM BUILDING PLANS, AND ELEVATIONS

| DATE | 2/13/2023 |
|---------|-----------|
| D.B. | BHA |
| C.B. | BSS |
| JOB NO. | 202224 |

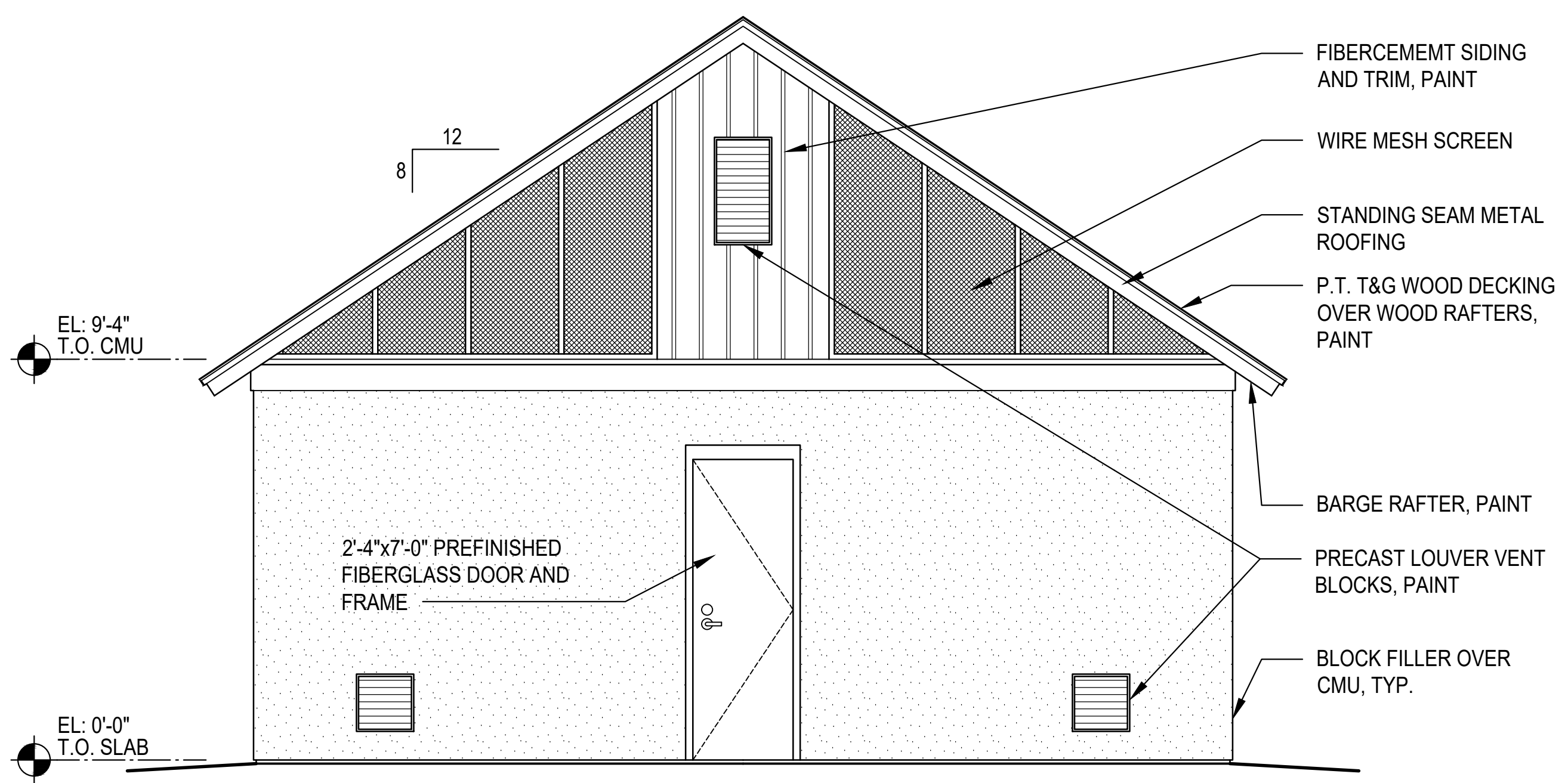
A2
 OVERLAY DISTRICT REVIEW



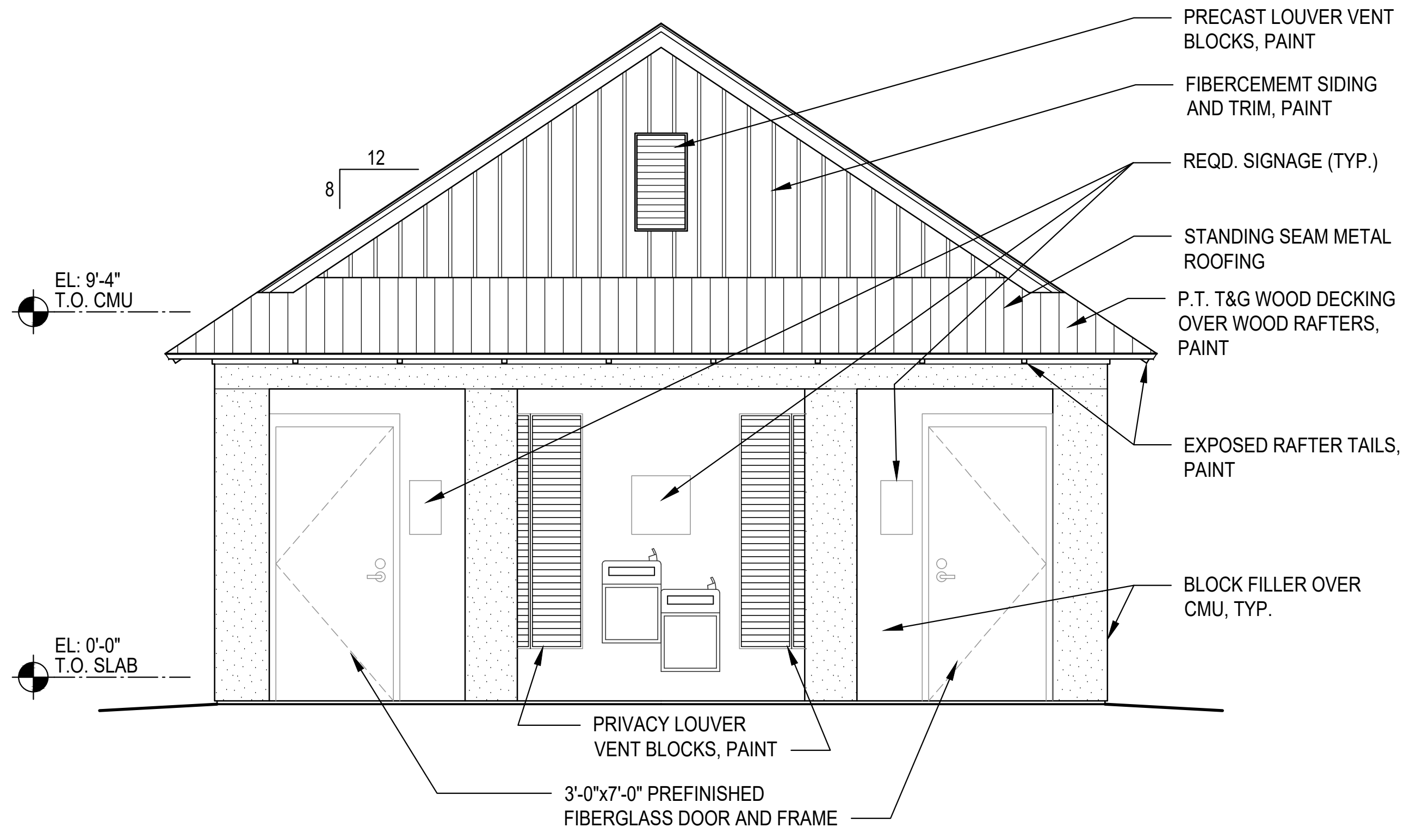
3 EXTERIOR ELEVATION - SIDE
 SCALE: 3/8" = 1'-0"



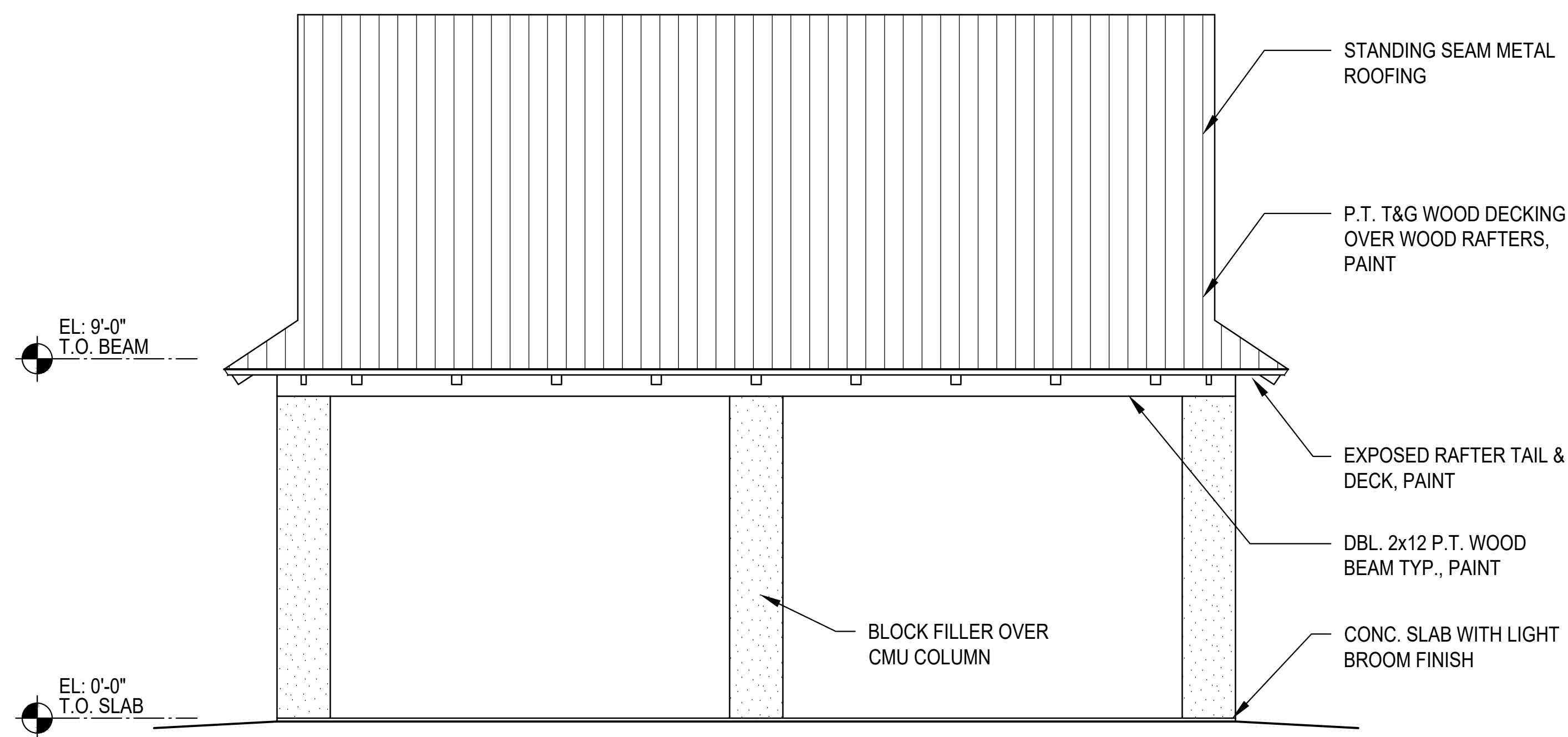
1 RESTROOM BUILDING FLOOR PLAN
 SCALE: 1/4" = 1'-0"



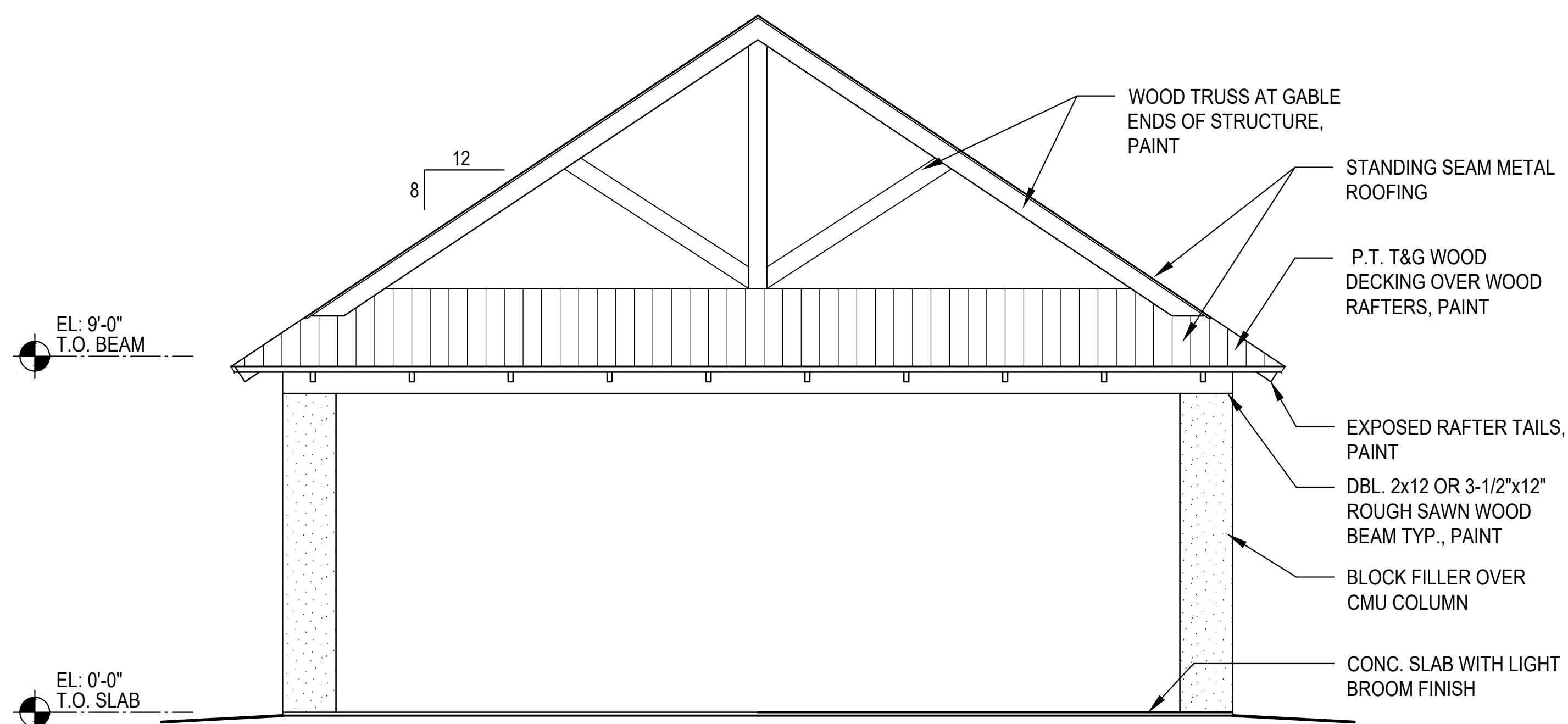
4 EXTERIOR ELEVATION - REAR
 SCALE: 3/8" = 1'-0"



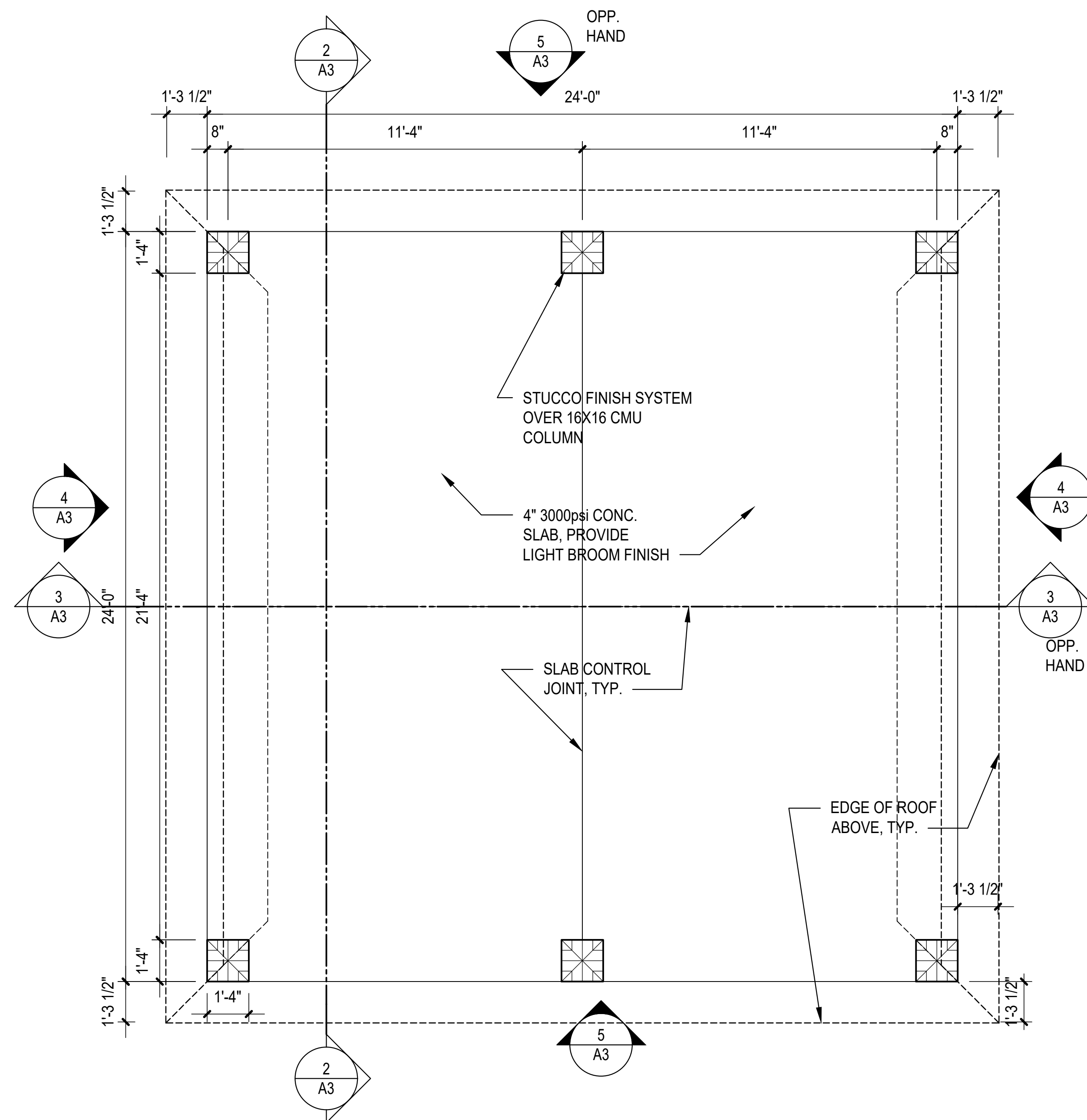
2 EXTERIOR ELEVATION - FRONT
 SCALE: 3/8" = 1'-0"



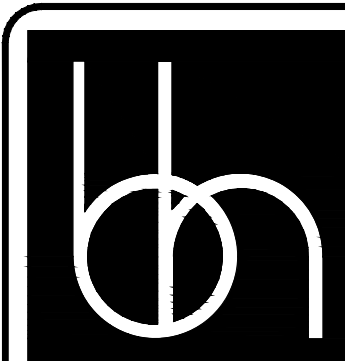
3 EXTERIOR ELEVATION - SIDE
SCALE: 3/8" = 1'-0"



2 EXTERIOR ELEVATION - FRONT
SCALE: 3/8" = 1'-0"



1 PAVILION BUILDING FLOOR PLAN
SCALE: 3/8" = 1'-0"



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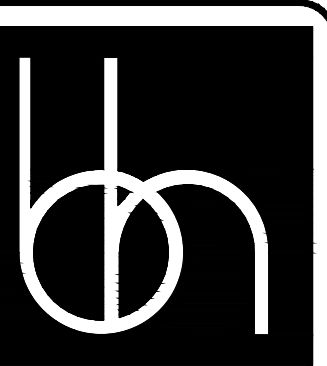
| DATE | REVISIONS | DESCRIPTION | SYM |
|------|-----------|-------------|-----|
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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Architect: Brian Sawyer License No: AR0091953

| | |
|---------|-----------|
| DATE | 2/13/2023 |
| D.B. | BHA |
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| JOB NO. | 202224 |

A3
OVERLAY DISTRICT REVIEW



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LIC. NO. AR0011549

| DATE | REVISIONS | DESCRIPTION | SYM |
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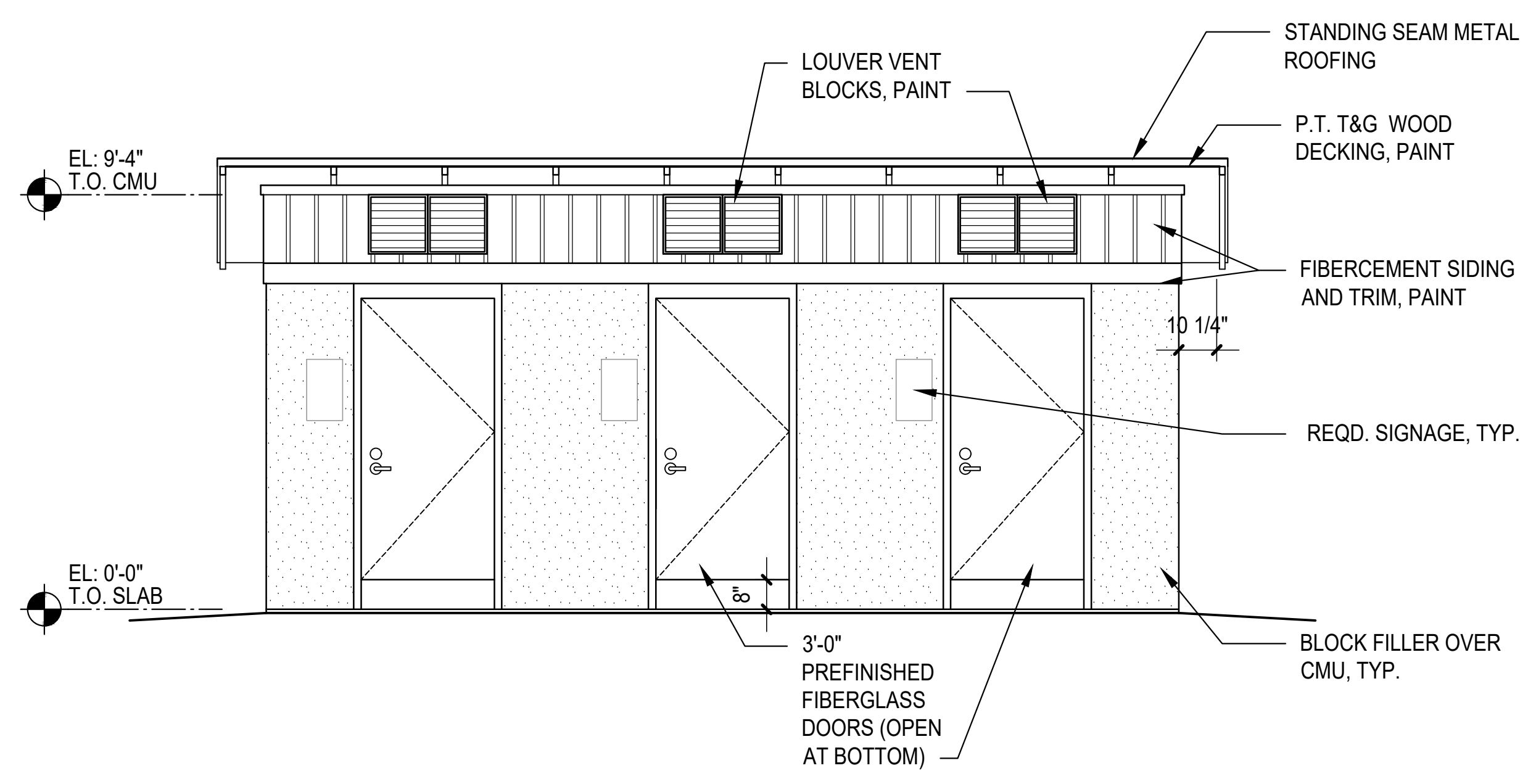
ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Architect: Brian Sawyer License No. AR0091953

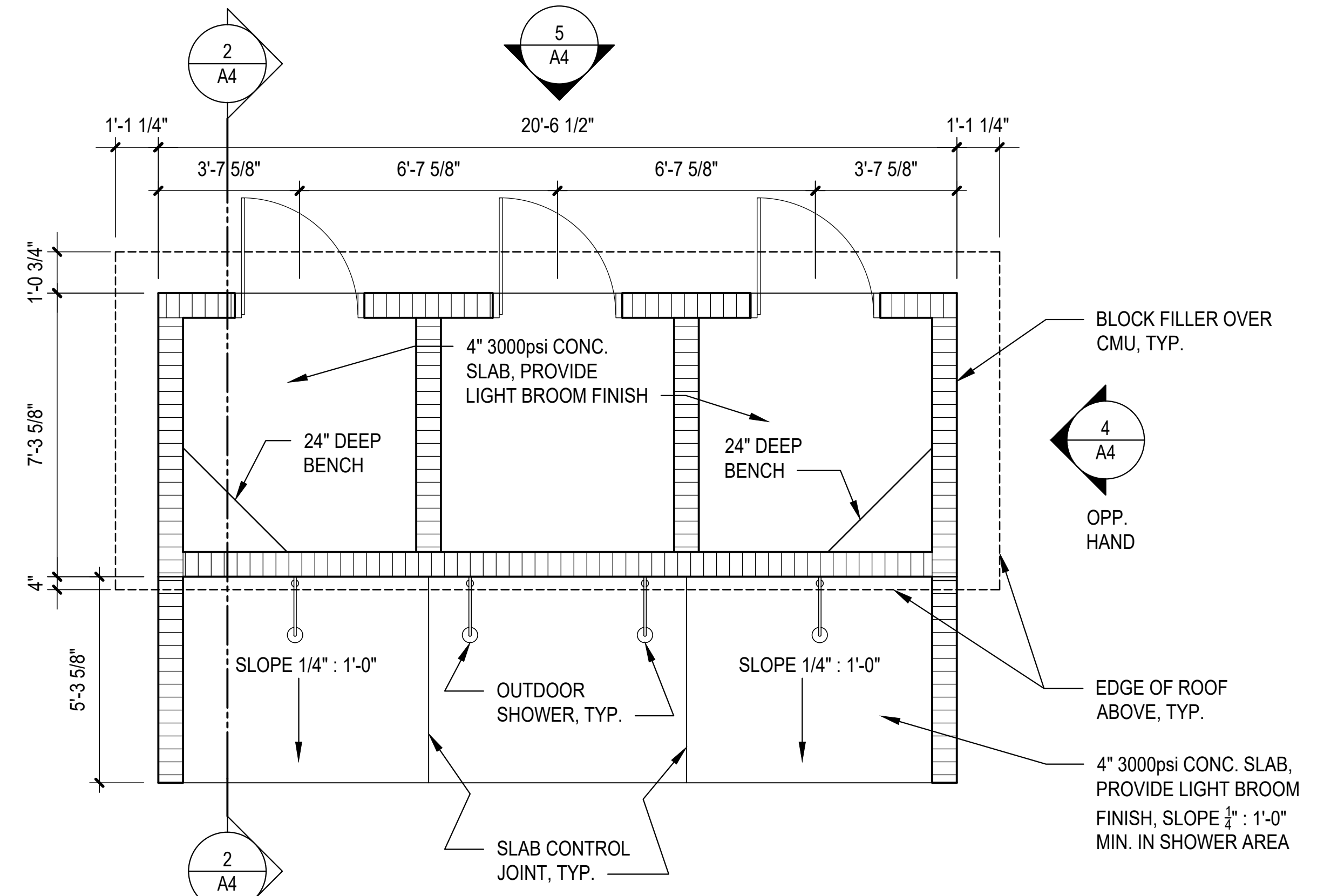
CHANGING ROOM BUILDING PLANS, AND ELEVATIONS

| | |
|---------|-----------|
| DATE | 2/13/2023 |
| D.B. | BHA |
| C.B. | BSS |
| JOB NO. | 202224 |

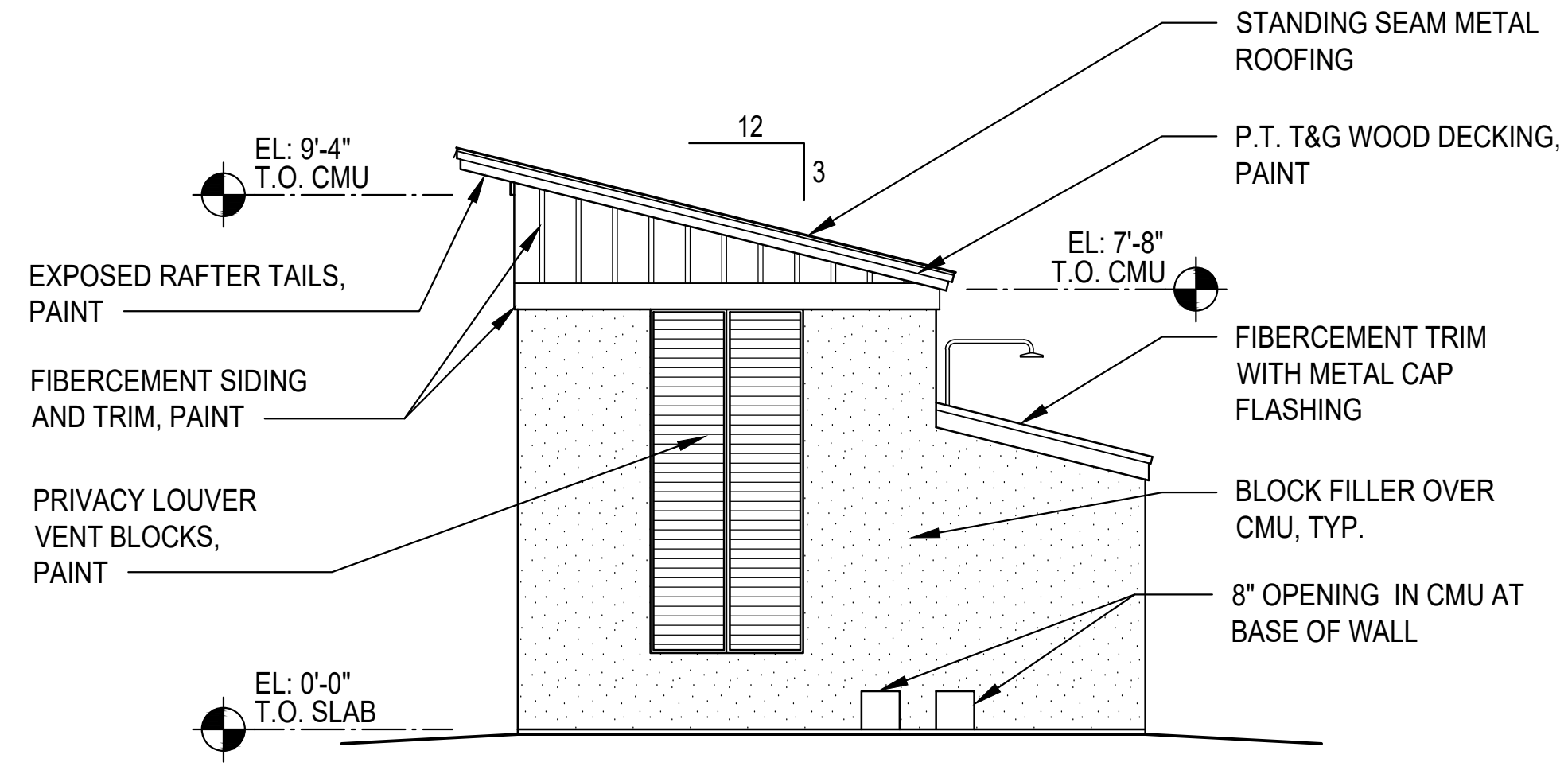
A4
OVERLAY DISTRICT REVIEW



3 EXTERIOR ELEVATION - FRONT
SCALE: 3/8" = 1'-0"



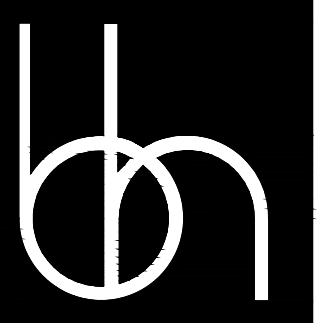
1 CHANGING ROOM BUILDING FLOOR PLAN
SCALE: 3/8" = 1'-0"



2 EXTERIOR ELEVATION - SIDE
SCALE: 3/8" = 1'-0"



AERIAL VIEW



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| 11/21/2023 | REVISED PROGRESS SUBMITTAL |

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NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Architect: Brian Sawyer License No: AR0091953

RENDERINGS

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| C.B. | BSS |
| JOB NO. | 202224 |

A5.1
OVERLAY DISTRICT
REVIEW



NEW PLAYGROUND

NEW RESTROOMS

EXISTING PAVILION

EXISTING FOOTBRIDGE

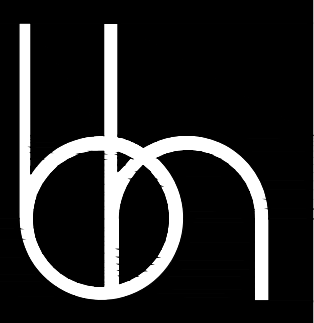
NEW CHANGING STATION &
OUTDOOR SHOWERS

NEW PAVILION

A1A

24TH STREET

AERIAL VIEW



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LIC. NO. AR0011549

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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Architect: Brian Sawyer License No: AR0091953

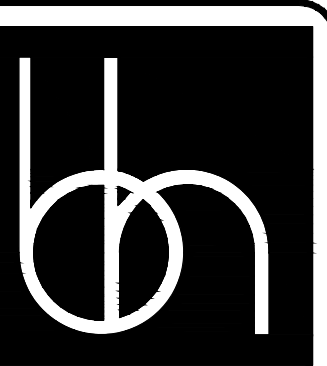
RENDERINGS

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| DATE | 3/30/2023 |
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A5.2
OVERLAY DISTRICT
REVIEW



PAVILION VIEW LOOKING WEST



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|--------|----------------------------|------------|
| △ | REVISED PROGRESS SUBMITTAL | 11/21/2023 |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS

NORTH BEACH PARK RENOVATION

3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Architect: Brian Sawyer License No: AR0091953

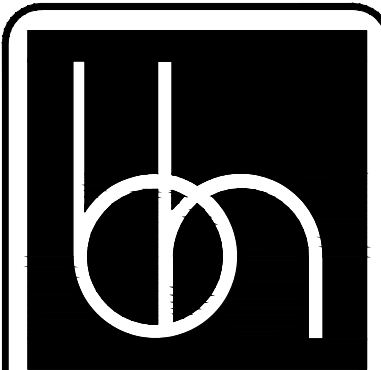
RENDERINGS

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|---------|-----------|
| DATE | 3/30/2023 |
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| C.B. | BSS |
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A5.3
OVERLAY DISTRICT
REVIEW



PAVILION



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| 11/21/2023 | REVISED PROGRESS SUBMITTAL |

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Architect: Brian Sawyer License No: AR0091953

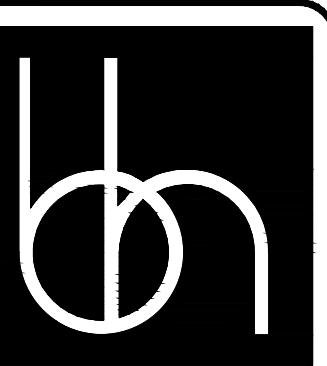
RENDERINGS

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|---------|-----------|
| DATE | 3/30/2023 |
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| C.B. | BSS |
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A5.4
OVERLAY DISTRICT
REVIEW



PLAYGROUND AREA WITH SHADE SAILS



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NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
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Architect: Brian Sawyer License No: AR0091953

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A5.5
OVERLAY DISTRICT
REVIEW



PLAYGROUND AREA WITH SHADE SAILS



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3721 COASTAL HIGHWAY
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Architect: Brian Sawyer License No: AR0091953

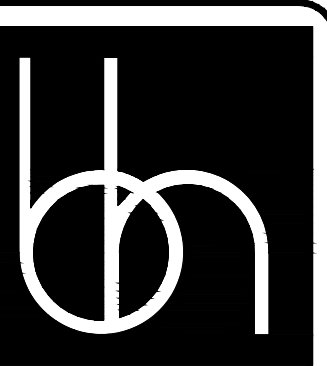
RENDERINGS

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|---------|-----------|
| DATE | 3/30/2023 |
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| C.B. | BSS |
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A5.6
OVERLAY DISTRICT
REVIEW



RESTROOM BUILDING



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Architect: Brian Sawyer License No: AR0091953

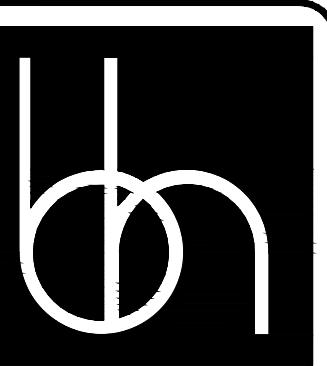
RENDERINGS

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| DATE | 3/30/2023 |
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A5.7
OVERLAY DISTRICT
REVIEW



RESTROOM BUILDING



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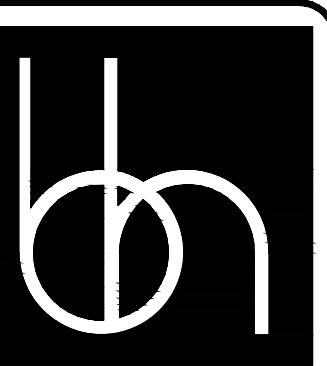
RENDERINGS

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| DATE | 3/30/2023 |
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A5.8
OVERLAY DISTRICT
REVIEW



CHANGING STATIONS



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Architect: Brian Sawyer License No: AR0091953

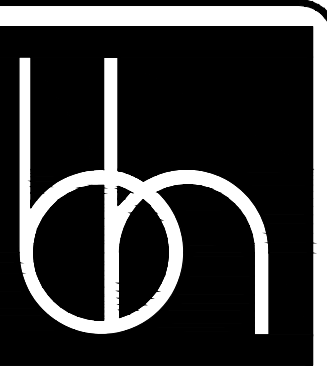
RENDERINGS

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A5.9
OVERLAY DISTRICT
REVIEW



OUTDOOR FOOT & SHOWER TOWERS



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NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
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RENDERINGS

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| DATE | 3/30/2023 |
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| C.B. | BSS |
| JOB NO. | 202224 |

A5.10
OVERLAY DISTRICT
REVIEW



- STANDING SEAM METAL ROOF (COLOR: BONE WHITE)
- WOOD DECKING & RAFTERS (PAINT: SW 6759 CODED BLUE)
- FIBER CEMENT SIDING (PAINT: SW 0055 LIGHT FRENCH GREY)
- FIBER CEMENT TRIM (PAINT: SW 7006 EXTRA WHITE)
- FIBERGLASS DOORS (COLOR: LIGHT GRAY (DURULITE))
- BLOCK FILLER, ELASTOMERIC PAINT (COLOR: SW 7551 GREEK VILLA)
- LOUVER VENT BLOCKS (PAINT: SW 7006 EXTRA WHITE)

2 CHANGING STATION
SCALE: N.T.S



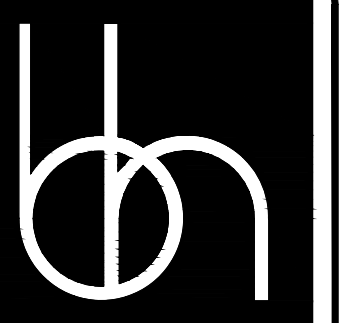
1 RESTROOM
SCALE: N.T.S



- STANDING SEAM METAL ROOF (COLOR: BONE WHITE)
- WOOD DECKING & RAFTERS (PAINT: SW 6759 CODED BLUE)
- FIBER CEMENT TRIM (PAINT: SW 7006 EXTRA WHITE)
- STUCCO FINISH SYSTEM (COLOR: COTTON)
- CONCRETE SLAB (FINISH: LIGHT BROOM)

3 PAVILION
SCALE: N.T.S

| | | |
|---|---|---|
|  |  |  |
| STANDING SEAM METAL ROOF (BONE WHITE) | STUCCO (COTTON) | WOOD DECKING & RAFTERS (SW 6759 CODED BLUE) |
|  |  |  |
| FIBER CEMENT SIDING (SW 0055 LIGHT FRENCH GREY) | FIBER CEMENT TRIM (SW 7006 EXTRA WHITE) | ELASTOMERIC PAINT (SW 7551 GREEK VILLA) |



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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
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ST. AUGUSTINE, FL 32084

Architect: Brian Sawyer
License No: AR00091953

FINISHES & MATERIALS

| | |
|---------|-----------|
| DATE | 2/13/2023 |
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| C.B. | BSS |
| JOB NO. | 202224 |

A6
OVERLAY DISTRICT REVIEW



North Beach Playground



3-D VIEW



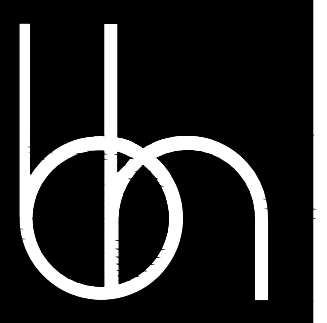
3-D VIEW



3-D VIEW



3-D VIEW



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Architect: Brian Sawyer License No: AR0091953

PLAYGROUND EQUIPMENT

| | |
|---------|-----------|
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| C.B. | BSS |
| JOB NO. | 202224 |

A7.2
OVERLAY DISTRICT
REVIEW

Marine Mammals: Can You Spot Them?



North Atlantic Right Whale

The North Atlantic Right Whale is one of the world's most endangered large whale species and were hunted to the brink of extinction. These whales can be seen off our coast from December to April during their calving season.

Size: bigger than a school bus



Weight: Up to 70 tons

Lifespan: Up to 70 years

Diet: Shrimp-like krill and small fish



Identification: Rough, white patches on heads called callosities and broad, deeply notched tails

Fun Fact: Right Whale calves can gain over 100 pounds a day when nursing from their mothers.



Atlantic Bottlenose Dolphin

The Atlantic Bottlenose Dolphin, also referred to as the Common Bottlenose, can be seen year round off the coast of our beaches.

Size: 6 to 13 feet in length



Weight: 300 to 1,400 pounds

Lifespan: 40 to 60 years

Diet: Fish, squid, and crustaceans



Identification: Blue-grey color on top with lighter colors on their side/belly. Travel in "pods" so if you see one, there are probably others close by.

Fun Fact: Bottlenose Dolphins can eat more than 20 pounds of food in a day.



Florida Manatee

The Florida Manatee is a subspecies of the West Indian Manatee and remain a threatened species in Florida. Due to their slow speed, their biggest threats are boat strikes. They can be spotted off our coast between April and October.

Size: 9 to 10 feet in length

Weight: as much as a mid-size car



Lifespan: 50 to 60 years

Diet: Seagrass, algae, and other vegetation in freshwater



Identification: Referred to as "sea cows" with long, grey bodies and paddle-shaped flippers and tail.

Fun Fact: Manatees are not actually fat, they have very minimal blubber.

Hunting for Shark Teeth

Common Sharks



Great White



Mako



Hammerhead



Tiger



Sand Tiger

Tips for Finding Teeth

Look for different colors: they range from black, grey, and brown which are fossilized teeth, to a rare white tooth that is fresh from a shark's mouth.



Search near the waterline: try grabbing a handful of shells near the waterline and pick through as the water washes over them.

Search during low tide: this will give you the broadest scope to search and go often because the beach is always changing.

Be patient: sometimes it takes a while to find teeth but once you spot them, you will never stop.



Identifying Shark Teeth



Let's practice! Can you find the tooth hidden in the shells?



CIVIL CONSTRUCTION PLANS FOR: NORTH BEACH PARK RENOVATION

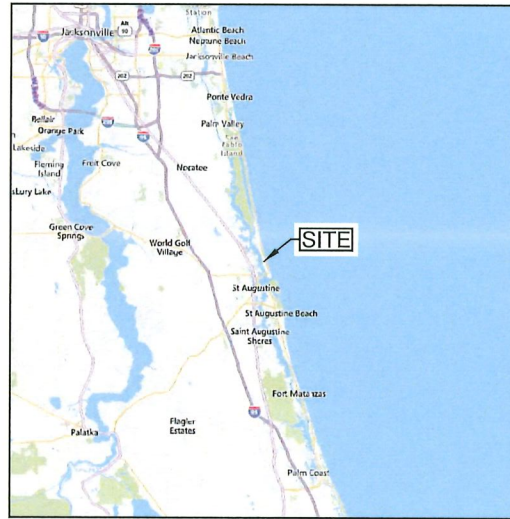
PROJECT ADDRESS:
3721 COASTAL HWY
ST. AUGUSTINE, FL 32084



PREPARED FOR:
ST. JOHNS COUNTY



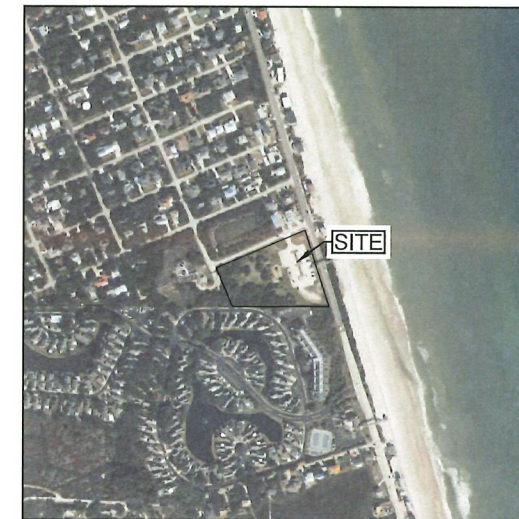
PREPARED BY:
STRUCTURES INTERNATIONAL, LLC
7563 PHILIPS HIGHWAY, BUILDING 600
JACKSONVILLE, FL 32256
PHONE: (904) 296-2646
WWW.STRUCTURESINTL.COM



1 LOCATION MAP
SCALE: 1" = 10 MILES



2 LOCATION MAP
SCALE: 1" = 500'



3 AERIAL MAP
SCALE: 1" = 500'

PROJECT CONTACTS:

OWNER:

ST JOHNS COUNTY
CONTACT:
DOUGLAS TARBOX
ST. JOHNS COUNTY PUBLIC WORKS
CONSTRUCTION SERVICES
2750 INDUSTRY CENTER ROAD
ST. AUGUSTINE, FL 32084
(904) 209-0115

DESIGN TEAM:

ARCHITECT:
BHIDE & HALL ARCHITECTS, P.A.
BRIAN SAWYER, AIA
(904) 264-1919

CIVIL & STRUCTURAL ENGINEER:
STRUCTURES INTERNATIONAL, LLC
JOHN P. GRADY, PE, FBRSE
(904) 296-2646

MEP ENGINEER:
M.V. CUMMINGS ENGINEERS, INC.
(904) 724-0660

AUTHORITIES HAVING JURISDICTION (AHJ):

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(904) 209-0660

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD)
(904) 730-6270

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP)
WATER & SEWER UTILITIES
(904) 256-1700

NORTH BEACH UTILITIES (NBU)
WATER & SEWER UTILITIES
(904) 669-7292

FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT)
(904) 825-5036

FLORIDA POWER AND LIGHT (FPL)
ELECTRIC UTILITY

PERMIT INFORMATION:

SJCDCRC: COMM 2023-62 (UNDER REVIEW)

SJRWMD: APPROVED PERMIT #156873-3

FDEP WASTEWATER: PENDING

FDOT UTILITY: PENDING

NCDRB: NCDRB 2023-06 (UNDER REVIEW)

CIVIL SHEET LIST TABLE

| SHEET NUMBER | SHEET TITLE |
|--------------|---|
| C0 | CIVIL COVER |
| C1 | CIVIL GENERAL NOTES |
| C2 | OVERALL SITE PLAN |
| C2.1 | ENLARGED SITE PLAN |
| C3 | EROSION & SEDIMENT CONTROL AND DEMOLITION PLAN |
| C4 | GRADING PLAN |
| C4.1 | ENLARGED GRADING PLAN |
| C5 | UTILITY PLAN |
| C6 | LANDSCAPE PLAN |
| C7 | MAINTENANCE OF TRAFFIC |
| C20 | SITE DETAILS |
| C21 | SITE DETAILS |
| C30 | SEDIMENT & EROSION CONTROL DETAILS |
| C31 | STORMWATER POLLUTION PREVENTION PLAN |
| C32 | SWPPP CONTRACTOR'S CERTIFICATION FORMS |
| C40 | GRADING & DRAINAGE DETAILS |
| C41 | GRADING & DRAINAGE DETAILS |
| C50 | UTILITY DETAILS |
| GN-01 | ST. JOHNS COUNTY UTILITY DEPARTMENT GENERAL NOTES |
| D-01 | ST. JOHNS COUNTY UTILITY DEPARTMENT GENERAL DETAILS |
| D-02 | ST. JOHNS COUNTY UTILITY DEPARTMENT GENERAL DETAILS |
| D-03 | ST. JOHNS COUNTY UTILITY DEPARTMENT GENERAL DETAILS |

John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:51:23 -05'00'



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| 1 | 03/04/2024 | REVISED PER SJC COMMENTS |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Engineer: John P. Grady
License No: 69322



CIVIL COVER

| | |
|---------|------------|
| DATE | 03/04/2024 |
| D.B. | AJH |
| C.B. | JPG |
| JOB NO. | 20224 |

C0

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY THE ENGINEER ON THE DATE NOTED ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

GENERAL PROJECT INFORMATION:

AUTHORITIES HAVING JURISDICTION (AHJ):

- THE FOLLOWING AUTHORITIES HAVE JURISDICTION OVER THIS PROJECT OR PORTIONS THEREOF:
- ST. JOHNS COUNTY (SJC)
 - ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD)
 - NORTH BEACH UTILITY (NBUT)
 - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP)
 - FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT)
 - FLORIDA POWER AND LIGHT (FPL)

ABBREVIATIONS:

- AHJ - AUTHORITIES HAVING JURISDICTION
- EOR - ENGINEER OF RECORD
- CD - CONSTRUCTION DOCUMENTS
- TW - TOP OF WALL
- TC - TOP OF CURB
- UN - UNLESS OTHERWISE NOTED
- EP - EDGE OF PAVEMENT
- TYP - TYPICAL

ENGINEER OF RECORD (EOR) STATEMENT:

TO THE BEST OF THE EOR'S BELIEF AND KNOWLEDGE THESE DOCUMENTS HAVE BEEN PREPARED IN ACCORDANCE WITH COMMONLY ACCEPTED STANDARDS OF CARE FOR ENGINEERING AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE AHJ, BUT IN NO WAY DO THESE DOCUMENTS CONSTITUTE A GUARANTEE OR WARRANTY OF ANY KIND.

THE SCOPE OF ENGINEERING FOR WHICH THE SIGNING EOR OF THESE PLANS WAS IN RESPONSIBLE CHARGE INCLUDES THE FOLLOWING:

- SITE GRADING AND DRAINAGE
- ROADWAY, PARKING GEOMETRICAL DESIGN
- STORMWATER MANAGEMENT SYSTEM DESIGN
- WATER & SEWER UTILITY DESIGN

THE SCOPE OF SERVICES FOR WHICH THE SIGNING EOR OF THESE PLANS WAS IN RESPONSIBLE CHARGE SPECIFICALLY EXCLUDES THE FOLLOWING:

- GEOTECHNICAL ENGINEERING
- LANDSCAPE ARCHITECTURE
- SURVEYING

NOTICE TO THE OWNER:

ALL SITE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO DRAINAGE WORKS, STORMWATER MANAGEMENT FACILITIES, UTILITIES AND PAVEMENT REQUIRE PERIODIC INSPECTION AND MAINTENANCE TO ENSURE THEY ARE KEPT IN SAFE WORKING ORDER AS INTENDED. UPON ACCEPTANCE OF THE CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR ALL SITE MAINTENANCE AND INSPECTION INCLUDING COMPLETION OF PERIODIC INSPECTION AND REPORTING REQUIREMENTS REQUIRED BY AHJ.

SURVEY:

THE FOLLOWING SURVEY WORK AND DRAWINGS WERE PREPARED AS PART OF THIS PROJECT:

TOPOGRAPHIC & BOUNDARY SURVEYS BY:

DONALD A. BRADSHAW, PSM
ST. JOHNS COUNTY LAND MANAGEMENT SYSTEMS
SURVEYING AND MAPPING DIVISION
690 SAN SEBASTIAN VIEW
ST. AUGUSTINE, FLORIDA 32084

FILE NUMBER: S-925 DATED APRIL 24, 2023

ELEVATION DATUM: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88)

FLOOD ZONE:

ZONE X PER FEMA COMMUNITY PANEL NUMBER 12109C0308J EFFECTIVE DATE 12/11/2018

GEOTECHNICAL:

THE FOLLOWING GEOTECHNICAL ENGINEERING WORK WAS COMPLETED AS PART OF THIS PROJECT:

UNIVERSAL ENGINEERING SCIENCES
PROJECT NUMBER NO. 0930.2300019.0000
REPORT NO. 1619598v2
DATED FEBRUARY 13, 2023

GENERAL PROJECT NOTES:

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE AHJ NOTED ABOVE. THE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL RELATIVE STANDARDS, SPECIFICATIONS, LAWS, RULES, REQUIRED & OBTAINED PERMITS, STANDARD DETAILS, ACCEPTABLE MATERIALS, PRE/DURING/POST CONSTRUCTION PROCEDURES & REQUIREMENTS APPLICABLE TO THE SCOPE OF WORK.
2. IN THE EVENT THERE IS A CONFLICT BETWEEN AHJ REQUIREMENTS AND THESE CD, THE CONTRACTOR SHALL NOTIFY THE EOR PRIOR TO MOBILIZING, PROCURING MATERIALS, AND/OR CONSTRUCTION. THE CONTENT OF THESE CD DO NOT SUPERSERVE REQUIREMENTS OF AN AHJ NOR RELIEVE THE CONTRACTOR FROM ANY APPLICABLE REQUIREMENT OF AN AHJ.
3. PRIOR TO BIDDING THE CONTRACTOR SHALL REVIEW WHAT PERMITS HAVE BEEN OBTAINED FOR THE PROJECT AND WHAT PERMITS THEY WILL BE RESPONSIBLE TO OBTAIN FROM AHJ. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONDITIONS AND REQUIREMENTS OF ANY PERMITS FOR THE PROJECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL WORK IS PERFORMED IN A SAFE MANNER AND IN ACCORDANCE WITH ALL APPLICABLE OSHA, STATE, AND LOCAL SAFETY REGULATIONS INCLUDING BUT NOT LIMITED TO TRENCH SAFETY REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY MEASURES REQUIRED TO PROTECT THE HEALTH & SAFETY OF THEIR PERSONNEL, SUBCONTRACTORS, AND THE PUBLIC I.E. PPE, SITE BARRICADES, TRENCHING SHORING, MAINTENANCE OF TRAFFIC (MOT), ETC.
5. ALL IMPROVEMENTS WORKMANSHIP AND MATERIALS ARE TO BE WARRANTED BY THE CONTRACTOR TO THE OWNER AND/OR AHJ AS APPLICABLE FOR A MINIMUM ONE YEAR (UNLESS OTHERWISE MORE STRINGENTLY REQUIRED IN CONTRACT DOCUMENTS) AFTER ACCEPTANCE BY THE OWNER AND/OR AHJ AS APPLICABLE.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING PRIOR TO CONSTRUCTION ALL AHJ AND OTHER ENTITIES CONTAINING INFRASTRUCTURE OR PROPERTY IN OR NEAR THE PROJECT LIMITS REGARDLESS OF WHETHER WORK ON THAT INFRASTRUCTURE OR PROPERTY IS PROPOSED. THE CONTRACTOR SHALL NOTIFY THESE ENTITIES OF THE PROPOSED CONSTRUCTION SCOPE AND SCHEDULE.

CONSTRUCTION SUBMITTAL REQUIREMENTS:

THE CONTRACTOR SHALL SUBMIT CONSTRUCTION SUBMITTALS TO EOR AND AHJ FOR MATERIALS TO BE USED ON SITE AND OTHER DOCUMENTS AS SPECIFIED IN THESE CD. SUBMITTALS INCLUDE BUT MAY NOT BE LIMITED TO THE FOLLOWING:

1. EROSION CONTROL DEVICES
2. MOT PLAN AND DEVICES
3. STRUCTURAL IMPORT FILL
4. STONE
3. STORM STRUCTURE SHOP DRAWINGS
4. STORM PIPE
5. FILTER FABRIC
6. CONCRETE DESIGN MIX
7. TACTILE DETECTABLE WARNINGS
8. SIGNAGE

MOT AND ROW CONSTRUCTION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE AHJ PRIOR TO ANY WORK WITH A PUBLIC ROW.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS AND/OR BONDS REQUIRED BY AHJ FOR WORK WITHIN PUBLIC RIGHT-OF-WAY.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC (MOT) BOTH VEHICULAR AND PEDESTRIAN. THE CONTRACTOR SHALL IMPLEMENT MOT MEASURES AS SPECIFIED IN THE CD OR AS OTHERWISE REQUIRED BY THE AHJ.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER MOT MEASURES REGARDLESS OF WHETHER A PROJECT SPECIFIC MOT PLAN IS INCLUDED IN THE CD.
5. IN THE EVENT A PROJECT SPECIFIC MOT PLAN IS NOT INCLUDED IN THE CD THE CONTRACTOR SHOULD SUBMIT AN MOT PLAN TO THE EOR AND AHJ PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ENSURING THE SAFETY OF THE PUBLIC (MOTORISTS & PEDESTRIANS).

EXISTING CONDITIONS NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE, REVIEW PROJECT SURVEYS, REVIEW GEOTECHNICAL REPORTS PRIOR TO BIDDING ON ANY WORK SHOWN IN THESE CD.
2. THE CONTRACTOR IS HEREBY MADE AWARE THAT ALL EXISTING INFORMATION IN THESE CD AND SUPPORTING DOCUMENTS INCLUDING BUT NOT LIMITED TO HORIZONTAL AND VERTICAL LOCATION OF EXISTING STRUCTURES/UTILITIES/APPROPRIATE IMPROVEMENTS/FEATURES, ELEVATION GRADES/INVERTS, AND SOIL CONDITIONS SHALL BE CONSIDERED APPROXIMATE AND MAY NOT DEPICT ALL EXISTING ABOVE AND BELOW GROUND APPURTENANCES.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS THAT AFFECTS THE SCOPE OF WORK.
4. THE CONTRACTOR SHALL INCLUDE IN THEIR BID ANY ADDITIONAL SURVEY OR INVESTIGATION COSTS THEY DEEM NECESSARY I.E. ADDITIONAL SURVEY, VERIFICATION OF VERTICAL AND HORIZONTAL (VVH) OF EXISTING UTILITIES AND INVERTS, ADDITIONAL GEOTECHNICAL INVESTIGATION (I.E. TO MORE PRECISELY DETERMINE EXTENT OF UNSUITABLE SOILS/DEBRIS/OR ORGANICS REQUIRING REMOVAL AND/OR REPLACEMENT).
5. IN THE EVENT EXISTING CONDITIONS ARE DIFFERENT THAN PRESENTED IN THE CD OR SUPPORTING DOCUMENTS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE EOR.
6. THE CONTRACTOR IS REMINDED OF THEIR RESPONSIBILITY TO CALL SUNSHINE 811 TWO FULL BUSINESS DAYS PRIOR TO ANY DIGGING FOR EXISTING UTILITY LOCATES AS REQUIRED BY FLORIDA LAW.
7. THE COST TO REPAIR ANY DAMAGE TO EXISTING STRUCTURES, SITE IMPROVEMENTS, UTILITIES, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR.

SEDIMENT AND EROSION CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AT COMPLETION OF CONSTRUCTION.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
5. WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS REQUIRED, THE STRIPS SHALL BE OVERLAPPED.
6. FDOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON SEDIMENT FILTER DETAIL. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING.
7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
8. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH BINDINGS ORIENTATED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
9. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
10. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED, A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
12. LOOSE SYNTHETIC SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.
13. SYNTHETIC BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
14. CLOSE ATTENTION SHALL BE GIVEN TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
16. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL IT MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ON-HALF THE HEIGHT OF THE BARRIER.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE, AFTER THE SYNTHETIC BALE OR FILTER BARRIER, AND OR SILT FENCES ARE NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
18. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
19. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED IMMEDIATELY. STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS REQUIRED.
20. STRUCTURES SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS REQUIRED.
21. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
22. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE CD AND AHJ SPECIFICATIONS, CRITERIA, REQUIREMENTS, AND RECOMMENDATIONS.
23. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT ENVIRONMENTAL PROTECTION (FDEP) CHAPTER 6.
24. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAILS IN THESE CD FOR TYPICAL CONSTRUCTION.
25. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
26. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
27. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE AHJ.
28. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED AND MULCHED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED. CONTRACTOR SHALL USE ADDITIONAL MEASURES TO STABILIZE DISTURBED AREAS THROUGH COMPACTION, SILT SCREENS, HAY BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAGGERED AND STAKED SOIL SOD.
29. ALL DEWATERING, EROSION AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION, AND REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
30. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
31. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL AHJ INQUIRES RELATIVE TO COMPLIANCE OF SEDIMENT AND EROSION CONTROL. THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.
32. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE CD AND PER THE RULES AND REGULATIONS OF THE AHJ.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF SOD AND/OR GRASS PER THE CD AND MEETING THE REQUIREMENTS OF THE AHJ INCLUDING NPDES FINAL STABILIZATION REQUIREMENTS.
34. THESE PLANS INCLUDING THE EROSION CONTROL AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INDICATE THE MINIMUM EROSION & SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) CHAPTER 6. CONTRACTOR SHALL PROVIDE EROSION AND PROTECTION AND TURBIDITY CONTROL AS REQUIRED TO INSURE CONFORMANCE TO STATE AND FEDERAL WATER QUALITY STANDARDS AND MAY NEED TO INSTALL ADDITIONAL CONTROLS TO CONFORM TO AGENCIES REQUIREMENTS. IF A WATER QUALITY VIOLATION OCCURS, THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR ALL DAMAGE AND ALL COSTS WHICH MAY RESULT INCLUDING LEGAL FEES, CONSULTANT FEES, CONSTRUCTION COSTS, AND FINES.

35. 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A "NOTICE OF INTENT" TO THE EPA IN ACCORDANCE WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM RULES AND REGULATIONS.
36. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NPDES MONITORING AND COMPLIANCE.

LAND CLEARING NOTES:

1. THE CONTRACTOR SHALL HAVE ALL SEDIMENT AND EROSION CONTROL MEASURES IN PLACE PRIOR TO ANY LAND DISTURBANCE.
2. THE CONTRACTOR SHALL INCLUDE ALL REQUIRED LAND CLEARING AND GRUBBING REQUIRE TO COMPLETE THE SCOPE OF WORK IN THE CD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OFF-SITE OF ALL CLEARING AND CONSTRUCTION DEBRIS PER THE REQUIREMENTS OF THE AHJ.
4. BURNING OF TREES, BRUSH, AND OTHER MATERIALS IS PROHIBITED UNLESS THE CONTRACTOR OBTAINS APPROVAL FROM THE OWNER, AHJ (INCLUDING LOCAL FIRE MARSHALL).
5. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL SURVEY AND PROPERTY MONUMENTS. IF A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL CONTRACT WITH THE SURVEYOR OF RECORD FOR REINSTALLATION OF THE MONUMENT.

EARTHWORK NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPOGRAPHIC SURVEY OR GEOTECHNICAL INVESTIGATION WORK REQUIRED TO ADEQUATELY ESTIMATE EARTHWORK QUANTITIES INCLUDING REQUIRED STRUCTURAL FILL MATERIAL AND QUANTITY OF UNSUITABLE SOILS REQUIRING REMOVAL AND REPLACEMENT. FAILURE OF THE CONTRACTOR TO IDENTIFY/QUANTIFY THE AMOUNT OF UNSUITABLE MATERIAL TO BE REMOVED DURING THE BID PROCESS WILL NOT RELIEVE THE CONTRACTOR FROM COMPLETE PERFORMANCE UNDER THE CONSTRUCTION CONTRACT.
2. UNLESS DIRECTED OTHERWISE BY THE OWNER OR THE EOR, THE CONTRACTOR WILL CONTRACT WITH A THIRD PARTY INDEPENDENT TESTING AGENCY TO PERFORM ALL MATERIAL TESTING AND SOIL TESTING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CD AND REQUIREMENTS OF THE AHJ.
3. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXCESS OR UNSUITABLE MATERIAL PROPERLY OFF-SITE.
4. ALL IMPORTED FILL AND BASE MATERIALS SHALL BE IN CONFORMANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS, CD, AND REQUIREMENTS OF THE AHJ.
5. ALL EARTHWORK MEANS AND METHODS INCLUDING FILL LIFT HEIGHTS AND COMPACTION REQUIREMENTS SHALL BE COMPLETED PER THE RECOMMENDATIONS GEOTECHNICAL REPORT, CD AND REQUIREMENTS OF THE AHJ.
6. U.O.N. THE CONTRACTOR SHALL COORDINATE INSPECTION OF ALL EARTHWORK OPERATIONS BY A THIRD PARTY TESTING AGENCY. ANY UNSUITABLE MATERIALS (I.E. ORGANICS, PEAT, DEBRIS, FAT CLAYS), IDENTIFIED BY THE CONTRACTOR, THIRD PARTY TESTING AGENCY, EOR, PROJECT GEOTECHNICAL ENGINEER, AND/OR AHJ SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.

DEWATERING NOTES:

1. THE CONTRACTOR SHALL INCLUDE IN THEIR BID ANY REQUIRED DEWATERING FOR THE PROJECT.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY APPROVAL AND/OR PERMITS FROM AHJ FOR PROPOSED DEWATERING ACTIVITIES.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY GROUNDWATER TESTING FOR CONTAMINANTS AS REQUIRED BY AHJ.
4. NO DEWATERING SHALL TAKE PLACE UNTIL THE CONTRACTOR OBTAINS ANY REQUIRED PERMITS OR APPROVALS FROM AHJ.
5. IF THE CONTRACTOR PROPOSES TO DISCHARGE DEWATERING FLOWS OFFSITE THEY MUST OBTAIN APPROVAL FROM THE AHJ.
6. THE CONTRACTOR SHALL CONSTRUCT SETTLING PONDS, DISPERSION SUMPS, FILTER SCREENS AS REQUIRED TO ADEQUATELY REDUCE THE TURBIDITY OF DEWATERING DISCHARGE PER AHJ REQUIREMENTS.
7. THE TYPE OF PUMP INCLUDING FLOW RATE CAPACITY AND NOISE LEVEL SHALL BE APPROVED BY THE AHJ.

STORM DRAINAGE CONSTRUCTION NOTES:

1. ALL DRAINAGE STRUCTURES SHALL BE DESIGNED AND CONSTRUCTED FOR AASHTO HL93 (INCLUDING HS20 TRUCK) DESIGN LOAD BASED ON PROPOSED COVER AND APPLICATION AS SPECIFIED IN THESE CD.
2. ALL DRAINAGE STRUCTURES SHALL HAVE AASHTO HL93 TRAFFIC RATED GRATES OR COVERS.
3. ALL DRAINAGE PIPE JOINTS ARE TO BE SEALED AND WRAPPED WITH FILTER FABRIC PER FDOT STANDARDS.
4. TRENCHING, BEDDING, PLACEMENT AND COMPACTION OF PIPE HAUNCHES SHALL BE PER THE MOST STRINGENT REQUIREMENTS OF THE CD, AHJ, AND PIPE MANUFACTURER RECOMMENDATIONS.
5. DURING TRENCHING ACTIVITIES CONTRACTOR SHALL COORDINATE WITH AHJ AND THIRD PARTY TESTING AGENCY INSPECTOR, DEPTH OF TRENCHING REQUIRED FOR ADEQUATE BEDDING THICKNESS BASED ON ENCOUNTERED INSITU SOIL CONDITIONS IN BOTTOM OF TRENCH.
6. ALL PIPE BACKFILL MATERIAL SHALL BE STRUCTURAL FILL MEETING THE MOST STRINGENT REQUIREMENTS OF THE CD, AHJ, THIRD PARTY TESTING AGENCY, AND PIPE MANUFACTURER RECOMMENDATIONS.
7. NEW COLLECTION STRUCTURES SHALL BE PROTECTED FROM SILT DURING CONSTRUCTION.
8. ALL PIPE BEDDING SHALL BE TYPE B UNLESS OTHERWISE REQUIRED BY THE AHJ INSPECTOR.
9. ALL PIPE CONNECTIONS SHALL BE WRAPPED WITH FILTER FABRIC JACKET AS SPECIFIED IN FDOT STANDARDS INDEX 430-001.
10. CONTRACTOR SHALL ENSURE THAT ALL DRAINAGE STRUCTURE AND PIPES ARE CLEAN AND FUNCTIONING PROPERLY AT TIME OF ACCEPTANCE.

PAVING AND CONCRETE NOTES:

1. THE CONTRACTOR SHALL CONSTRUCT ADA COMPLIANT ACCESSIBLE CURB RAMPS AT ALL SIDEWALK AND CURB CONNECTIONS. CURB RAMPS SHALL BE IN CONSTRUCTED IN ACCORDANCE WITH THE CD, ADA, AND AHJ.
2. MAXIMUM CROSS SLOPE OF 2% SHALL BE MAINTAINED AT ALL ACCESSIBLE RAMP TOP AND BOTTOM LANDINGS. MAXIMUM RAMP SLOPE SHALL BE 1:12 (8.33%) WITH A MAXIMUM CROSS SLOPE OF 2%.
3. MAXIMUM SLOPE OF 5% SHALL BE MAINTAINED FOR ALL SIDEWALKS IN DIRECTION OF TRAVEL AREAS NOT SERVING AS RAMP LANDING. MAXIMUM CROSS SLOPE OF ALL SIDEWALK SHALL BE 2%.
4. THE CONTRACTOR SHALL CONSTRUCT TACTILE DETECTABLE WARNINGS AT THE BASE OF ALL ACCESSIBLE RAMPS EMPTYING TO VEHICULAR AREAS. TACTILE DETECTABLE WARNING DIMENSIONS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CD, ADA, AND AHJ.

PAVEMENT MARKING & SIGNAGE NOTES:

1. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM TO THE CD, AHJ, AND MUTCD STANDARDS.
2. ANY EXISTING PAVEMENT MARKINGS REQUIRING REMOVAL SHALL BE REMOVED USING HYDRO-BLASTING METHOD.
3. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC (LEAD-FREE) IN ACCORDANCE WITH THE CD, AHJ, STANDARDS

TESTING AND INSPECTIONS:

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTING WITH A THIRD PARTY TESTING AGENCY FOR ALL TESTING REQUIRED BY THE CD, EOR, AND AHJ.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND SCHEDULING OF ALL REQUIRED INSPECTIONS WITH THE EOR AND AHJ. THE CONTRACTOR SHALL ANTICIPATE THE NEED TO SCHEDULE INSPECTIONS WELL IN ADVANCE OF WHEN INSPECTIONS AREA REQUIRED.
3. TESTING THAT MAY BE REQUIRED FOR THE PROJECT INCLUDES BUT MAY NOT BE LIMITED TO THE FOLLOWING:
 - STRUCTURAL FILL DENSITY TESTING
 - PAVEMENT BASE DENSITY TESTING
 - CONCRETE COMPRESSIVE STRENGTH TESTING
 - STORM SEWER AND/OR SANITARY SEWER TV INSPECTION
 - PRESSURE PIPE TESTING
 - PUMP STATION STARTUP INSPECTIONS

AS-BUILT NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SERVICES OF A LICENSED PROFESSIONAL LAND SURVEYOR TO SURVEY THE AS-BUILT CONSTRUCTION AND PREPARE AS-BUILT DRAWINGS.
2. THE CONTRACTOR SHALL ENSURE AS-BUILT DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EOR & AHJ.
3. THE CONTRACTOR SHALL PROVIDE THE AS-BUILT DRAWINGS TO THE EOR & AHJ FOR REVIEW AND COORDINATE CONSTRUCTION INSPECTIONS WITH THE EOR & AHJ.

REFERENCED STANDARDS:

1. ALL WORK SHALL BE IN ACCORDANCE WITH ST. JOHNS COUNTY STANDARDS, REFERENCED ST. JOHNS COUNTY STANDARD DETAILS CAN BE FOUND AT: <http://www.snjfl.us/DevelopmentReview/StdDetails.aspx>
2. ALL REFERENCED FDOT STANDARD PLANS, INDEXES AND SPECIFICATIONS CAN BE FOUND AT: <https://www.fdot.gov/design/standardplans/spc.shtml>
3. ALL REFERENCED ST. JOHNS COUNTY UTILITY DEPARTMENT STANDARDS CAN BE FOUND AT: <http://www.sjcfl.us/Utilities/DevelopmentGroup.aspx>

ST. JOHNS COUNTY NOTES:

1. IF ANY NEW LIGHTING IS PROPOSED, PLEASE SUBMIT A LIGHTING PLAN TO THE TURTLE LIGHTING OFFICER FOR A CURSORY REVIEW PRIOR TO ANY LIGHTING DESIGN OR INSTALLATION. A NIGHT TIME LIGHTING INSPECTION WILL BE REQUIRED BY THE TURTLE LIGHTING OFFICER WITHIN THE ENVIRONMENTAL DIVISION. PLEASE CONTACT SARA PEREZ AT 904209-0323 FOR MORE INFORMATION ABOUT LIGHTING REQUIREMENTS AND THE REQUIRED INSPECTION.



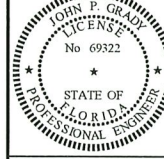
BHIDE & HALL
ARCHITECTS, P.A.
1329 KINGSLEY AVE., SUITE C
ORANGE PARK, FL 32073
PH: (904) 264-1919
WWW.BHIDE-HALL.COM
LIC. NO. AR0811549

| DATE | REVISIONS |
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| 03/04/2024 | REVISED PER SJC COMMENTS |
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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Engineer License No.

John P. Grady 69322



Digitally signed by
John P. Grady
Date: 2024.03.04 15:51:47 -05'00'



CIVIL GENERAL NOTES

| DATE | |
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| 03/04/2024 | ADD |
| | REV |
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| JOB# NO. | 202224 |

C1

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEAL FOR THE ENGINEER ON THE DATE NOTED ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID. THE SIGNED AND SEALED DOCUMENT MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

| PROPERTY INFORMATION TABLE | |
|-------------------------------|--|
| PROPERTY 911 ADDRESS | 3721 COASTAL HWY, ST. AUGUSTINE, FL 32084 |
| PARCEL IDENTIFICATION NUMBERS | 1462170000, 1462180120, 1462200010, 1462190000 |
| FEMA MAP PANEL NUMBER | 12109C0308J EFFECTIVE 12/7/2018 |
| FLOOD ZONE | ZONE AE BFE=6, ZONE X |

| BUILDING STRUCTURE DATA TABLE | | | | | | | |
|-------------------------------|----------------------------|-----------------------------------|--------|-------------------------------|------------------|---------------|--------|
| NO. | DESCRIPTION | FOOTPRINT AREA (FT ²) | FLOORS | FLOOR AREA (FT ²) | TYP ² | OCCUPANT LOAD | HEIGHT |
| 1 | EX. RESTROOM TO BE REMOVED | 394 | 1 | 394 | | | |
| 2 | EX. PAVILLION TO REMAIN | 665 | 1 | 665 | VB | 44 | 12'-6" |
| 3 | NEW RESTROOM | 965 | 1 | 865 | VB | 20 | 17'-4" |
| 4 | NEW CHANGING ROOM | 152 | 1 | 152 | VB | 7 | 10'-4" |
| 5 | NEW PAVILLION | 576 | 1 | 576 | VB | 40 | 17'-7" |
| TOTAL PROPOSED ³ | | 1,393 | | 1,393 | | | |

- TABLE NOTES:
- BUILDING AREAS MEASURED TO EXTERIOR OF EXTERIOR WALLS.
 - FLORIDA BUILDING CODE FIRE-RESISTANCE RATING TYPE OF BUILDING CONSTRUCTION.
 - INCLUDES EXISTING BUILDING TO REMAIN.

| SITE AREA TABLE | |
|--|----------------------|
| TOTAL CONTIGUOUS PROPERTY AREA | 4.50 ACRES |
| EXISTING GRAVEL PARKING, CURBING, & PAVEMENT TO BE REMOVED | 0.88 ACRES |
| TOTAL DISTURBED PROJECT AREA | 2.41 ACRES |
| DISTURBED AREA RATIO | 54% |
| TOTAL PROPOSED BUILDING ¹ | 1393 FT ² |
| BUILDING COVERAGE | <1% |
| TOTAL FLOOR AREA | 1393 FT ² |
| FLOOR AREA RATIO (FAR) | <1% |
| PROPOSED COQUINA PARKING AREA | 0.76 ACRES |
| PROPOSED CONCRETE AND OTHER IMPERVIOUS AREAS | 0.36 ACRES |
| TOTAL IMPERVIOUS (INCLUDING COQUINA & BUILDING) | 1.17 ACRES |
| PERCENT IMPERVIOUS (EXCLUDING SEMI-IMPERVIOUS COQUINA) | 8% |
| PERCENT IMPERVIOUS (INCLUDES SEMI-IMPERVIOUS COQUINA) | 26% |

- TABLE NOTES:
- REFERENCE BUILDING STRUCTURE DATA TABLE
 - INCLUDES POURED IN PLACE PLAYGROUND SURFACE

| PARKING TABLE | |
|---------------------------------------|-----------------------|
| EXISTING PARKING SPACES TO BE REMOVED | 88 |
| PROPOSED PRIMARY PARKING AREA SPACES | 105 (INCLUDING 6 ADA) |
| TOTAL PROPOSED PARKING SPACES | 105 |

| SITE ALIGNMENT GEOMETRY TABLES | | | | | |
|--------------------------------|--------|--------|----------------------|--------------|--------------|
| ALIGNMENT 1 | | | | | |
| SEGMENT | RADIUS | LENGTH | LINE/CHORD DIRECTION | DELTA | CHORD LENGTH |
| L1 | | 22.98 | S24° 28' 41.13"E | | |
| C1 | 50.00 | 17.26 | S14° 35' 18.66"E | 19° 46' 45" | 17.17 |
| L3 | | 35.58 | S4° 41' 56.19"E | | |
| ALIGNMENT 2 | | | | | |
| SEGMENT | RADIUS | LENGTH | LINE/CHORD DIRECTION | DELTA | CHORD LENGTH |
| C3 | 75.50 | 237.19 | N73° 00' 11.00"E | 180° 00' 00" | 151.00 |
| L5 | | 106.56 | N16° 59' 49.00"W | | |
| C2 | 75.50 | 237.19 | S73° 00' 11.00"W | 180° 00' 00" | 151.00 |
| L4 | | 106.56 | S16° 59' 49.00"E | | |

| POINT TABLE | | | POINT TABLE | | |
|-------------|------------|-----------|-------------|------------|-----------|
| Point # | Northing | Easting | Point # | Northing | Easting |
| 1 | 2038417.43 | 560907.65 | 18 | 2038345.50 | 560754.44 |
| 2 | 2038442.42 | 560890.20 | 19 | 2038448.82 | 560726.57 |
| 3 | 2038434.39 | 560874.18 | 20 | 2038464.72 | 560731.29 |
| 4 | 2038414.63 | 560880.22 | 21 | 2038463.60 | 560793.04 |
| 5 | 2038494.55 | 560864.59 | 22 | 2038473.07 | 560805.84 |
| 6 | 2038509.58 | 560854.76 | 23 | 2038548.19 | 560791.79 |
| 7 | 2038290.54 | 560709.96 | 24 | 2038543.03 | 560733.05 |
| 10 | 2038467.57 | 560776.03 | 25 | 2038452.94 | 560665.69 |
| 12 | 2038388.92 | 560814.36 | 26 | 2038433.59 | 560665.86 |
| 13 | 2038330.27 | 560790.48 | 27 | 2038272.69 | 560722.51 |
| 14 | 2038330.27 | 560814.48 | 28 | 2038266.34 | 560876.44 |
| 15 | 2038297.74 | 560808.98 | 29 | 2038279.89 | 560888.21 |
| 16 | 2038301.73 | 560821.96 | 30 | 2038327.67 | 560696.10 |
| 17 | 2038371.81 | 560840.50 | 31 | 2038460.95 | 560754.35 |

PLAN TAGGED NOTES

- EXISTING PAVILLION TO REMAIN
- NEW PROPOSED FIRE HYDRANT
- 24" WHITE THERMOPLASTIC STOP BAR
- SPECIAL EMPHASIS CROSSWALK STRIPING PER (SEE 23/24 FDOT INDEX 711-001 SHT 9)
- STOP SIGN (MUTCD R1-1 30"x30")
- ONE WAY SIGN (RIGHT) (MUTCD R6-2 18"x24")
- WRONG WAY (MUTCD R5-1a 30"x18")
- WHITE TRUE GRID STRIPING INDICATORS
- YELLOW TRUE GRID STRIPING INDICATORS
- PRESERVED TREE CANOPY
- PRESERVED TREE
- CONCRETE SIDEWALK (SEE SJC DESIGN DETAIL NO. 118)
- 18" CURB & GUTTER (SEE SJC DESIGN DETAIL NO. 115)
- CURB RAMP w/ TACTILE DETECTABLE WARNING PLAN (SEE FDOT INDEX 922-002 GR-A)
- THICKENED EDGE SIDEWALK
- COQUINA WALKWAY

PLAN SECTIONS & DETAILS

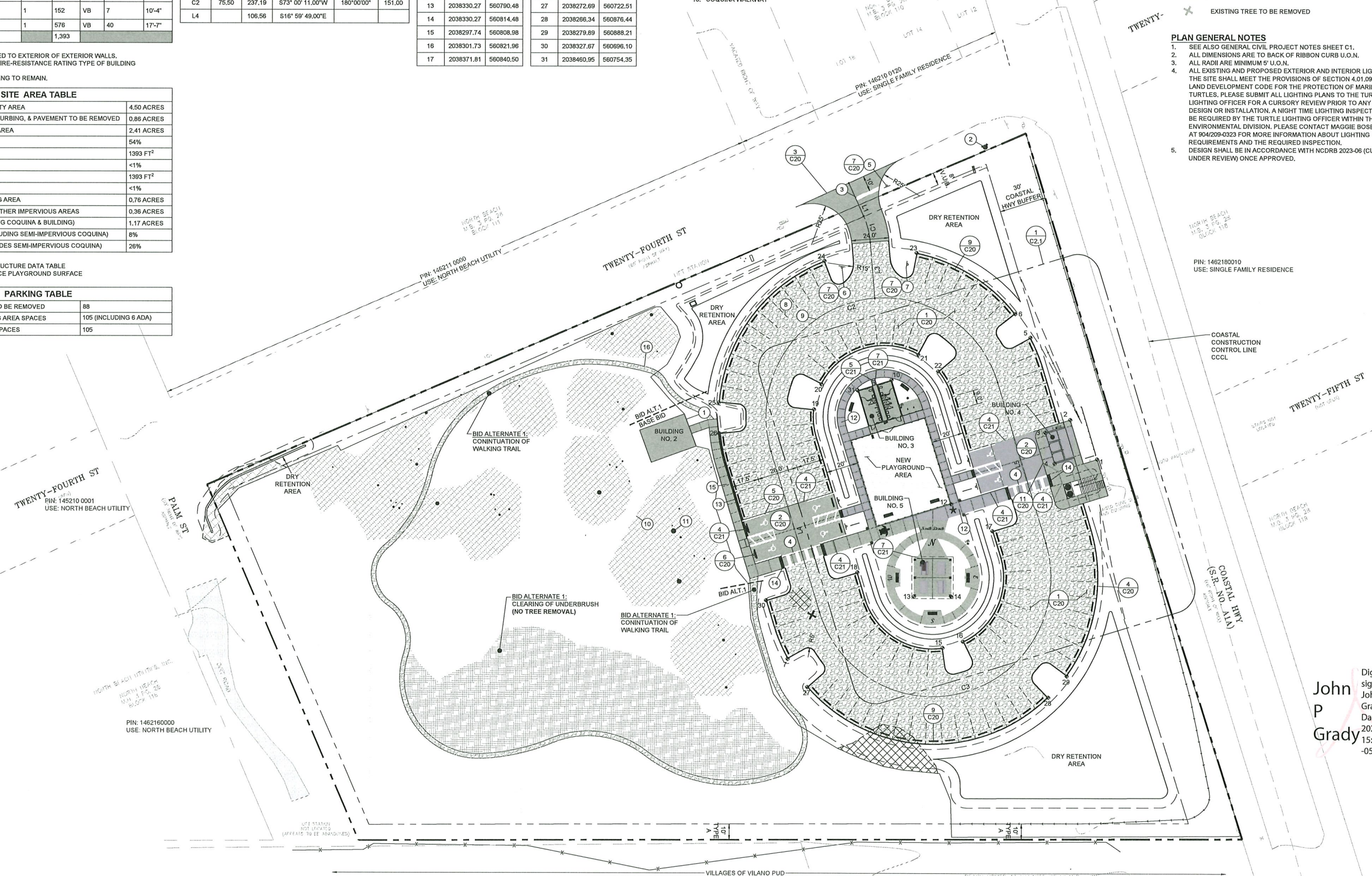
| NO. SHT | NO. SHEET | NAME |
|---------|-----------|---|
| 1 | C21 | PARTIAL ENLARGED SITE PLAN |
| 1 | C20 | COQUINA TRUEGRID PAVEMENT TYPICAL SECTION |
| 2 | C20 | CONCRETE PAVEMENT TYPICAL SECTION |
| 3 | C20 | CONCRETE / ASPHALT PAVEMENT TRANSITION DETAIL |
| 4 | C20 | TYPICAL FLUSH RIBBON CURB |
| 5 | C20 | ADA PARKING SPACE PAINT STRIPING |
| 6 | C20 | ACCESSIBLE PARKING SIGN |
| 7 | C20 | TYPICAL SIGN INSTALLATION DETAIL |
| 9 | C20 | PRECAST CONCRETE WHEEL STOP |
| 11 | C20 | RAISED SIDEWALK AT PAVEMENT |
| 5 | C21 | CAST IN PLACE STAIRS |
| 7 | C21 | TYPICAL ISOLATION JOINT DETAIL |

PLAN LEGEND

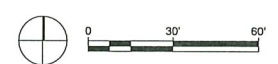
- COQUINA PARKING AREA STABILIZED WITH TRUEGRID PERMEABLE PAVER (SEE DETAIL).
- CONCRETE PAVEMENT (SEE DETAIL).
- EXISTING DENSE VEGETATION TO REMAIN
- EXISTING AREA OF DENSE VEGETATION UNDERBRUSH ONLY TO BE CLEARED NO TREE REMOVAL
- EXISTING TREE CANOPY TO BE PRESERVED
- EXISTING VEGETATION TO BE REMOVED
- EXISTING TREE TO BE REMOVED

PLAN GENERAL NOTES


- SEE ALSO GENERAL CIVIL PROJECT NOTES SHEET C1.
- ALL DIMENSIONS ARE TO BACK OF RIBBON CURB U.O.N.
- ALL RADII ARE MINIMUM 5' U.O.N.
- ALL EXISTING AND PROPOSED EXTERIOR AND INTERIOR LIGHTING AT THE SITE SHALL MEET THE PROVISIONS OF SECTION 4.01.09 OF THE LAND DEVELOPMENT CODE FOR THE PROTECTION OF MARINE TURTLES. PLEASE SUBMIT ALL LIGHTING PLANS TO THE TURTLE LIGHTING OFFICER FOR A CURSORY REVIEW PRIOR TO ANY LIGHTING DESIGN OR INSTALLATION. A NIGHT TIME LIGHTING INSPECTION WILL BE REQUIRED BY THE TURTLE LIGHTING OFFICER WITHIN THE ENVIRONMENTAL DIVISION. PLEASE CONTACT MAGGIE BOSELOWITZ AT 904/209-0323 FOR MORE INFORMATION ABOUT LIGHTING REQUIREMENTS AND THE REQUIRED INSPECTION.
- DESIGN SHALL BE IN ACCORDANCE WITH NCDPRS 2023-06 (CURRENTLY UNDER REVIEW) ONCE APPROVED.



1 OVERALL SITE PLAN
SCALE: 1" = 30'



John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:52:12 -05'00'




BHIDE & HALL ARCHITECTS, P.A.
1325 KINGSLEY AVE., SUITE C
ORANGE PARK, FL 32073
PH: (904) 264-1919
WWW.BHIDE-HALL.COM
LIC. NO. AR0011549

| DATE | DESCRIPTION | REVISIONS |
|------------|--------------------------|-----------|
| 03/04/2024 | REVISED PER SJC COMMENTS | |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS

NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

| | |
|---------------|-------------|
| Engineer | License No. |
| John P. Grady | 69322 |



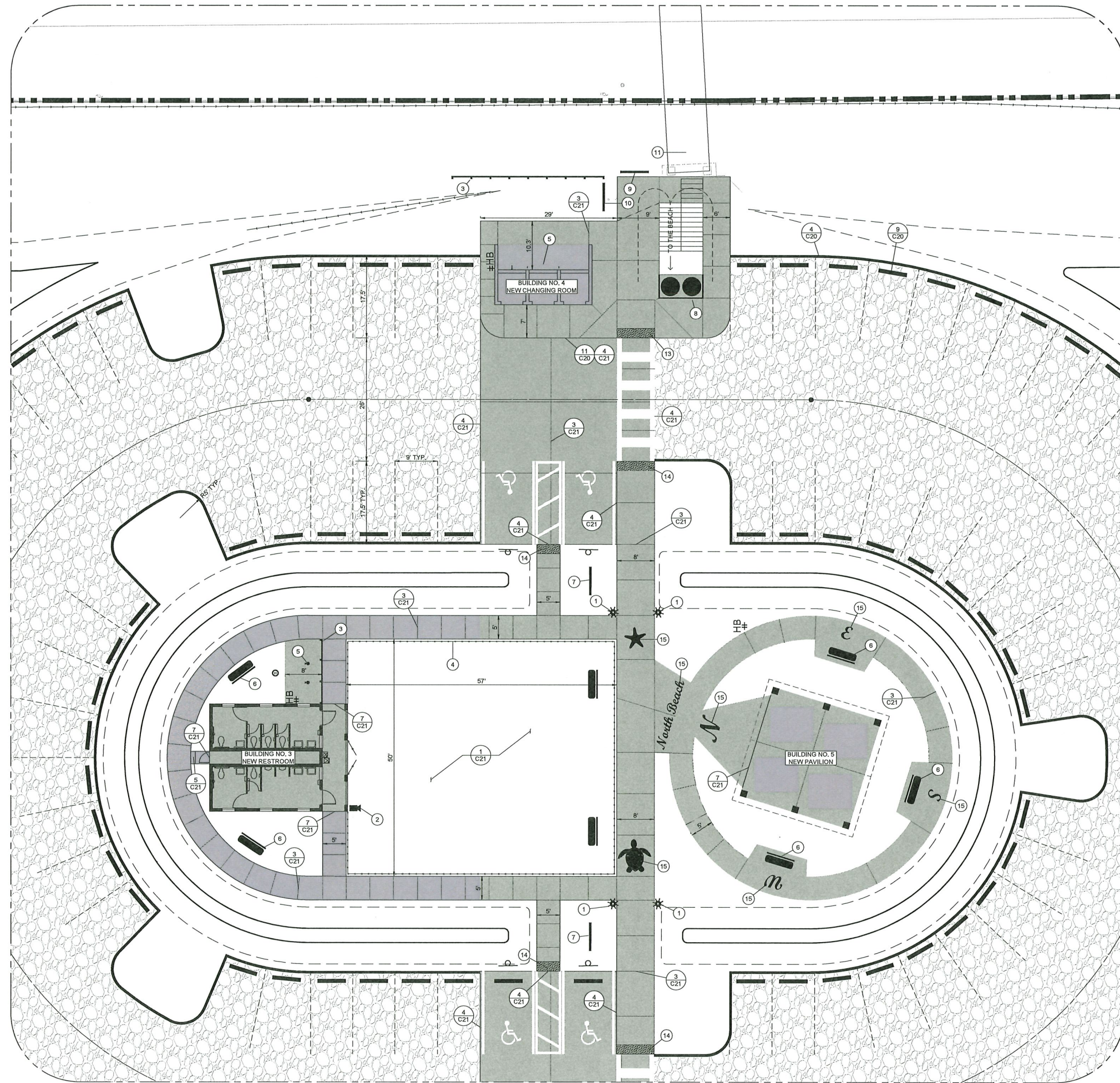
STRUCTURES INTERNATIONAL, LLC
STRUCTURES INTERNATIONAL
2725 HIGHWAY 17, SUITE 200
DADEWILLE, FLORIDA 32009
(904) 299-1000

OVERALL SITE PLAN



| | |
|---------|------------|
| DATE | 03/04/2024 |
| D.B. | AJB |
| C.B. | JFG |
| JOB NO. | 202224 |

C2

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PLAN LEGEND

-  COQUINA PARKING AREA STABILIZED WITH TRUEGRID PERMEABLE PAVER (SEE DETAIL).
-  CONCRETE PAVEMENT (SEE DETAIL).

PLAN GENERAL NOTES

1. SEE ALSO GENERAL CIVIL PROJECT NOTES SHEET C1.
2. ALL DIMENSIONS ARE TO BACK OF RIBBON CURB U.O.N.
3. ALL RADII ARE MINIMUM 5' U.O.N.

PLAN SECTIONS & DETAILS

| NO. SHEET | NAME |
|-----------|--|
| 4 C20 | TYPICAL FLUSH RIBBON CURB |
| 9 C20 | PRECAST CONCRETE WHEEL STOP |
| 1 C21 | POURED IN PLACE PIP PLAYGROUND SURFACE SECTION |
| 3 C21 | CONTRACTION JOINT DETAIL |
| 4 C21 | THICKENED ISOLATION JOINT DETAIL |
| 5 C21 | CAST IN PLACE STAIRS |
| 7 C21 | TYPICAL ISOLATION JOINT DETAIL |

PLAN TAGGED NOTES

1. BOLLARD LIGHT
2. SECURITY CAMERA
3. 6 FT HIGH SOLID VERTICAL PICKETT STYLE COMPOSITE SCREENING FENCE (TREX OR APPROVED EQUAL), COLOR WHITE OR LIGHT GREY (SUBMIT COLOR SAMPLE FOR OWNER APPROVAL), POSTS SHALL BE EMBEDDED A MINIMUM 36" ENCASED IN 12" CONCRETE HOLE. FASTENERS SHALL BE STAINLESS STEEL.
4. 48" HIGH SAFETY FENCE. FENCE AND GATES SHALL MEET ASTM F2099-11(2017) AND SHALL BE AN OPEN VERTICAL PICKET STYLE WHITE OR LIGHT GREY IN COLOR (SUBMIT COLOR SAMPLE FOR OWNER APPROVAL). FENCE MATERIAL SHALL BE ALUMINUM OR COMPOSITE MATERIAL AND ALL FASTENERS AND HARDWARE SHALL BE STAINLESS STEEL.
5. SHOWER
6. PARK BENCH
7. BICYCLE RACK
8. SCREENED WASTE AND RECYCLE BIN
9. EDUCATIONAL & ENVIRONMENTAL SIGNAGE
10. BEACH GEAR AND BOARD RACK
11. EXISTING PARK SIGN TO BE REFURBISHED
12. WALKOVER MAINTENANCE A1A BYPASS LOCATION
13. CURB RAMP w/ TACTILE DETECTABLE WARNING PLAN (SEE FDOT INDEX 522-002 CR-A)
14. TACTILE DETECTABLE WARNING PER FDOT INDEX 522-002
15. SIDEWALK-ART INSTALLATION

1 ENLARGED PARTIAL SITE PLAN
SCALE: 1" = 10'



John P. Grady
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Date: 2024.03.04 15:52:31 -05'00'

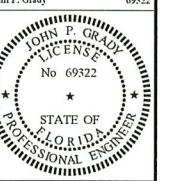


BHIDE & HALL ARCHITECTS, P.A.
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LIC. NO. AR0011549

| NO. SHEET | DATE | DESCRIPTION | REVISED PER S/C COMMENTS |
|-----------|------------|-------------|--------------------------|
| | 03/04/2024 | | |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Engineer License No. 69322
John P. Grady



ENLARGED SITE PLAN

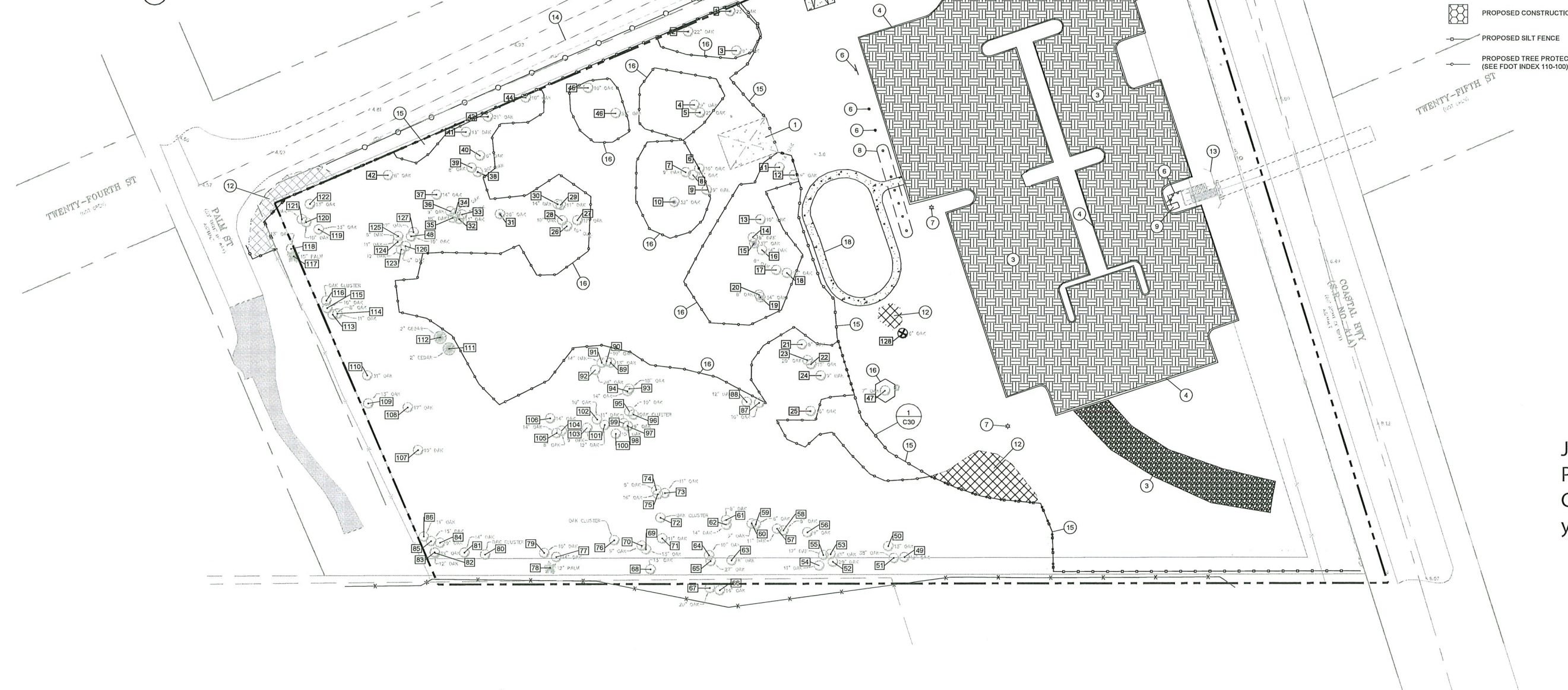
| | |
|---------|------------|
| DATE | 03/04/2024 |
| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 202224 |

C2.1

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| TREE NO. | SPECIES | TREE DBH (in) | PLAN OF ACTION | PRESERVED DBH (in) | REMOVED DBH (in) |
|----------|---------|---------------|----------------|--------------------|------------------|
| 1 | OAK | 23 | REMAIN | 23 | |
| 2 | OAK | 22 | REMAIN | 22 | |
| 3 | OAK | 9 | REMAIN | 9 | |
| 4 | OAK | 9 | REMAIN | 9 | |
| 5 | OAK | 21 | REMAIN | 21 | |
| 6 | OAK | 10 | REMAIN | 10 | |
| 7 | OAK | 9 | REMAIN | 9 | |
| 8 | OAK | 11 | REMAIN | 11 | |
| 9 | OAK | 9 | REMAIN | 9 | |
| 10 | OAK | 32 | REMAIN | 32 | |
| 11 | OAK | 14 | REMAIN | 14 | |
| 12 | OAK | 9 | REMAIN | 9 | |
| 13 | OAK | 10 | REMAIN | 10 | |
| 14 | OAK | 8 | REMAIN | 8 | |
| 15 | OAK | 37 | REMAIN | 37 | |
| 16 | OAK | 14 | REMAIN | 14 | |
| 17 | OAK | 8 | REMAIN | 8 | |
| 18 | OAK | 10 | REMAIN | 10 | |
| 19 | OAK | 34 | REMAIN | 34 | |
| 20 | OAK | 8 | REMAIN | 8 | |
| 21 | OAK | 8 | REMAIN | 8 | |
| 22 | OAK | 15 | REMAIN | 15 | |
| 23 | OAK | 20 | REMAIN | 20 | |
| 24 | OAK | 9 | REMAIN | 9 | |
| 25 | OAK | 18 | REMAIN | 18 | |
| 26 | OAK | 15 | REMAIN | 15 | |
| 27 | OAK | 13 | REMAIN | 13 | |
| 28 | OAK | 10 | REMAIN | 10 | |
| 29 | OAK | 11 | REMAIN | 11 | |
| 30 | OAK | 14 | REMAIN | 14 | |
| 31 | OAK | 28 | REMAIN | 28 | |
| 32 | OAK | 13 | REMAIN | 13 | |
| 33 | OAK | 8 | REMAIN | 8 | |
| 34 | OAK | 8 | REMAIN | 8 | |
| 35 | OAK | 15 | REMAIN | 15 | |
| 36 | OAK | 9 | REMAIN | 9 | |
| 37 | OAK | 14 | REMAIN | 14 | |
| 38 | OAK | 20 | REMAIN | 20 | |
| 39 | OAK | 8 | REMAIN | 8 | |
| 40 | OAK | 8 | REMAIN | 8 | |
| 41 | OAK | 13 | REMAIN | 13 | |
| 42 | OAK | 8 | REMAIN | 8 | |
| 43 | OAK | 21 | REMAIN | 21 | |
| 44 | OAK | 10 | REMAIN | 10 | |
| 45 | OAK | 10 | REMAIN | 10 | |
| 46 | OAK | 20 | REMAIN | 20 | |
| 47 | OAK | 7 | REMAIN | 7 | |
| 48 | OAK | 10 | REMAIN | 10 | |
| 49 | OAK | 12 | REMAIN | 12 | |
| 50 | OAK | 13 | REMAIN | 13 | |
| 51 | OAK | 38 | REMAIN | 38 | |
| 52 | OAK | 29 | REMAIN | 29 | |
| 53 | OAK | 25 | REMAIN | 25 | |
| 54 | OAK | 11 | REMAIN | 11 | |
| 55 | OAK | 17 | REMAIN | 17 | |
| 56 | OAK | 9 | REMAIN | 9 | |
| 57 | OAK | 11 | REMAIN | 11 | |
| 58 | OAK | 8 | REMAIN | 8 | |
| 59 | OAK | 8 | REMAIN | 8 | |
| 60 | OAK | 9 | REMAIN | 9 | |
| 61 | OAK | 8 | REMAIN | 8 | |
| 62 | OAK | 14 | REMAIN | 14 | |
| 63 | OAK | 8 | REMAIN | 8 | |
| 64 | OAK | 10 | REMAIN | 10 | |
| 65 | OAK | 27 | REMAIN | 27 | |
| 66 | OAK | 14 | REMAIN | 14 | |
| 67 | OAK | 20 | REMAIN | 20 | |
| 68 | OAK | 13 | REMAIN | 13 | |
| 69 | OAK | 13 | REMAIN | 13 | |
| 70 | OAK | 9 | REMAIN | 9 | |
| 71 | OAK | 11 | REMAIN | 11 | |
| 72 | OAK | 8 | REMAIN | 8 | |
| 73 | OAK | 11 | REMAIN | 11 | |
| 74 | OAK | 8 | REMAIN | 8 | |
| 75 | OAK | 16 | REMAIN | 16 | |
| 76 | OAK | 8 | REMAIN | 8 | |
| 77 | OAK | 14 | REMAIN | 14 | |
| 78 | PALM | 12 | REMAIN | 12 | |
| 79 | OAK | 10 | REMAIN | 10 | |
| 80 | OAK | 8 | REMAIN | 8 | |
| 81 | OAK | 14 | REMAIN | 14 | |
| 82 | OAK | 12 | REMAIN | 12 | |
| 83 | OAK | 12 | REMAIN | 12 | |
| 84 | OAK | 9 | REMAIN | 9 | |
| 85 | OAK | 18 | REMAIN | 18 | |
| 86 | OAK | 11 | REMAIN | 11 | |
| 87 | OAK | 10 | REMAIN | 10 | |
| 88 | OAK | 12 | REMAIN | 12 | |
| 89 | OAK | 13 | REMAIN | 13 | |
| 90 | OAK | 10 | REMAIN | 10 | |
| 91 | OAK | 14 | REMAIN | 14 | |
| 92 | OAK | 28 | REMAIN | 28 | |
| 93 | OAK | 15 | REMAIN | 15 | |
| 94 | OAK | 14 | REMAIN | 14 | |
| 95 | OAK | 10 | REMAIN | 10 | |
| 96 | OAK | 8 | REMAIN | 8 | |
| 97 | OAK | 9 | REMAIN | 9 | |
| 98 | OAK | 9 | REMAIN | 9 | |
| 99 | OAK | 11 | REMAIN | 11 | |
| 100 | OAK | 15 | REMAIN | 15 | |
| 101 | OAK | 12 | REMAIN | 12 | |
| 102 | OAK | 10 | REMAIN | 10 | |
| 103 | OAK | 9 | REMAIN | 9 | |
| 104 | OAK | 8 | REMAIN | 8 | |
| 105 | OAK | 14 | REMAIN | 14 | |
| 106 | OAK | 14 | REMAIN | 14 | |
| 107 | OAK | 10 | REMAIN | 10 | |
| 108 | OAK | 17 | REMAIN | 17 | |
| 109 | OAK | 13 | REMAIN | 13 | |
| 110 | OAK | 31 | REMAIN | 31 | |
| 111 | CEDAR | 2 | REMAIN | 2 | |
| 112 | CEDAR | 2 | REMAIN | 2 | |
| 113 | OAK | 8 | REMAIN | 8 | |
| 114 | OAK | 11 | REMAIN | 11 | |
| 115 | OAK | 10 | REMAIN | 10 | |
| 116 | OAK | 8 | REMAIN | 8 | |
| 117 | PALM | 15 | REMAIN | 15 | |
| 118 | OAK | 13 | REMAIN | 13 | |
| 119 | OAK | 33 | REMAIN | 33 | |
| 120 | OAK | 10 | REMAIN | 10 | |
| 121 | OAK | 9 | REMAIN | 9 | |
| 122 | OAK | 13 | REMAIN | 13 | |
| 123 | OAK | 12 | REMAIN | 12 | |
| 124 | OAK | 11 | REMAIN | 11 | |
| 125 | OAK | 8 | REMAIN | 8 | |
| 126 | OAK | 8 | REMAIN | 8 | |
| 127 | OAK | 17 | REMAIN | 17 | |
| 128 | OAK | 8 | REMOVED | | 8 |
| TOTAL | | 1692 | | 1684 | 8 |

2 TREE INVENTORY



1 EROSION CONTROL & DEMOLITION PLAN
SCALE: 1" = 30'

- PLAN SECTIONS & DETAILS**
- | NO. | SHEET | NAME |
|-----|-------|--------------------------------------|
| 1 | C30 | CONSTRUCTION DETAILS FOR SILT FENCES |
| 2 | C30 | STAKED HAY BALE |
| 3 | C30 | SOIL TRACKING PREVENTION DEVICE |

- PLAN TAGGED NOTES**
- EXISTING PAVILION TO REMAIN
 - EXISTING RESTROOM TO BE REMOVED (394 S.F.)
 - LIMEROCK PARKING TO BE REMOVED
 - CONC. CURBING TO BE REMOVED (1617 L.F.)
 - PAVEMENT TO BE REMOVED (950 S.F.)
 - SIGN TO BE REMOVED
 - LIGHT POLE TO BE REMOVED
 - PVC BOLLARD TO BE REMOVED
 - TRASH BIN PAD & SCREEN TO BE REMOVED
 - SANITARY SEWER TO BE REMOVED
 - WATER SERVICE TO BE CAPPED AND REMOVED
 - VEGETATION TO BE REMOVED
 - FENCE TO BE REMOVED
 - PROPOSED SAW CUT TO EXISTING ASPHALT
 - PROPOSED SILT FENCE LOCATION
 - PROPOSED TREE PROTECTION AREA (SEE FDOT INDEX 110-100)
 - PROPOSED CONSTRUCTION ACCESS
 - EXISTING WALKWAY TO BE REMOVED

- PLAN GENERAL NOTES**
- SEE ALSO GENERAL CIVIL PROJECT NOTES SHEET C1.

- PLAN LEGEND**
- EXISTING ASPHALT PAVEMENT TO REMAIN
 - EXISTING ASPHALT PAVEMENT TO BE REMOVED
 - EXISTING LIMEROCK PARKING TO BE REMOVED
 - EXISTING LIMEROCK AREA TO BE REMOVED
 - EXISTING VEGETATION TO BE REMOVED
 - EXISTING TREE TO BE REMOVED
 - PROPOSED CONSTRUCTION ACCESS
 - PROPOSED SILT FENCE
 - PROPOSED TREE PROTECTION AREA (SEE FDOT INDEX 110-100)



| DATE | DESCRIPTION |
|------------|--------------------------|
| 03/04/2024 | REVISED PER SJC COMMENTS |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:54:50 -05'00'

License No. 69922



EROSION & SEDIMENT CONTROL AND DEMOLITION PLAN

| DATE | 03/04/2024 |
|---------|------------|
| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 202224 |

C3

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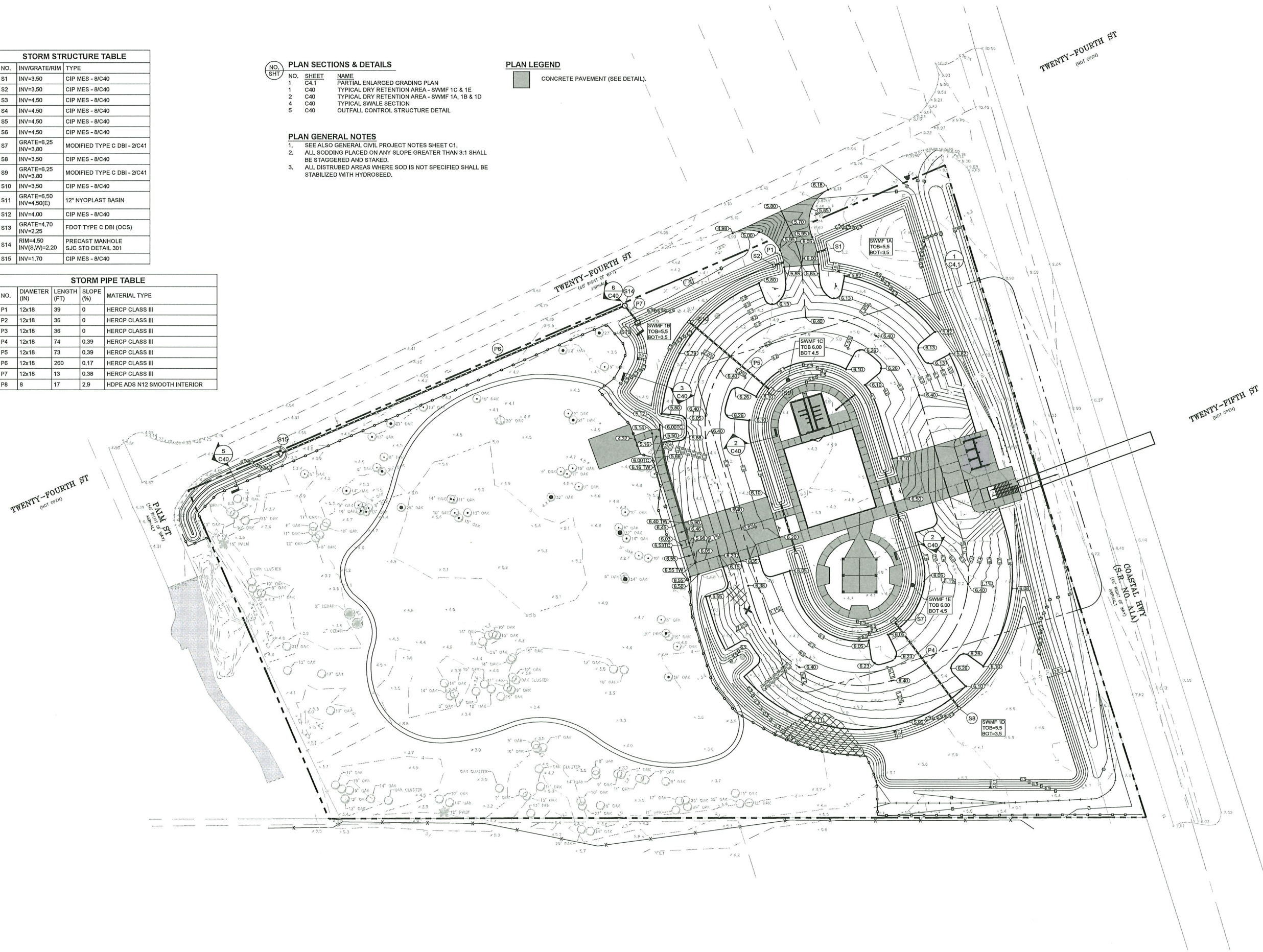
| STORM STRUCTURE TABLE | | |
|-----------------------|---------------------------|---------------------------------------|
| NO. | INV/GRATE/RIM | TYPE |
| S1 | INV=3.50 | CIP MES - 8/C40 |
| S2 | INV=3.50 | CIP MES - 8/C40 |
| S3 | INV=4.50 | CIP MES - 8/C40 |
| S4 | INV=4.50 | CIP MES - 8/C40 |
| S5 | INV=4.50 | CIP MES - 8/C40 |
| S6 | INV=4.50 | CIP MES - 8/C40 |
| S7 | GRATE=6.25 INV=3.80 | MODIFIED TYPE C DBI - 2/C41 |
| S8 | INV=3.50 | CIP MES - 8/C40 |
| S9 | GRATE=6.25 INV=3.80 | MODIFIED TYPE C DBI - 2/C41 |
| S10 | INV=3.50 | CIP MES - 8/C40 |
| S11 | GRATE=6.50 INV=4.50(E) | 12" NYOPLAST BASIN |
| S12 | INV=4.00 | CIP MES - 8/C40 |
| S13 | GRATE=4.70 INV=2.25 | FDOT TYPE C DBI (OCS) |
| S14 | RIM=4.50 INV(S,W)=2.20 | PRECAST MANHOLE SJC STD DETAIL 301 |
| S15 | INV=1.70 | CIP MES - 8/C40 |

| STORM PIPE TABLE | | | | |
|------------------|---------------|-------------|-----------|------------------------------|
| NO. | DIAMETER (IN) | LENGTH (FT) | SLOPE (%) | MATERIAL TYPE |
| P1 | 12x18 | 39 | 0 | HERCP CLASS III |
| P2 | 12x18 | 36 | 0 | HERCP CLASS III |
| P3 | 12x18 | 36 | 0 | HERCP CLASS III |
| P4 | 12x18 | 74 | 0.39 | HERCP CLASS III |
| P5 | 12x18 | 73 | 0.39 | HERCP CLASS III |
| P6 | 12x18 | 260 | 0.17 | HERCP CLASS III |
| P7 | 12x18 | 13 | 0.38 | HERCP CLASS III |
| P8 | 8 | 17 | 2.9 | HDPE ADS N12 SMOOTH INTERIOR |

| PLAN SECTIONS & DETAILS | | |
|-------------------------|-------|---|
| NO. | SHEET | NAME |
| 1 | C4.1 | PARTIAL ENLARGED GRADING PLAN |
| 2 | C40 | TYPICAL DRY RETENTION AREA - SWMF 1C & 1E |
| 3 | C40 | TYPICAL DRY RETENTION AREA - SWMF 1A, 1B & 1D |
| 4 | C40 | TYPICAL SWALE SECTION |
| 5 | C40 | OUTFALL CONTROL STRUCTURE DETAIL |

- PLAN GENERAL NOTES**
- SEE ALSO GENERAL CIVIL PROJECT NOTES SHEET C1.
 - ALL SODDING PLACED ON ANY SLOPE GREATER THAN 3:1 SHALL BE STAGGERED AND STAKED.
 - ALL DISTURBED AREAS WHERE SOD IS NOT SPECIFIED SHALL BE STABILIZED WITH HYDROSEED.

| PLAN LEGEND | |
|-------------|---------------------------------|
| | CONCRETE PAVEMENT (SEE DETAIL). |



1 GRADING PLAN
SCALE: 1" = 30'



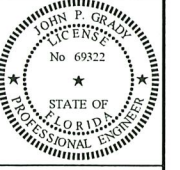
John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:55:13 -05'00'

BHIDE & HALL ARCHITECTS, P.A.
1329 KINGSLEY AVE., SUITE C
ORANGE PARK, FL 32073
TEL: (904) 264-1919
WWW.BHIDE-HALL.COM
LIC. NO. AR00011549

| DATE | DESCRIPTION | REVISED PER SAC COMMENTS |
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| 03/04/2024 | | |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL. 32084

Engineer: John P. Grady License No: 69322

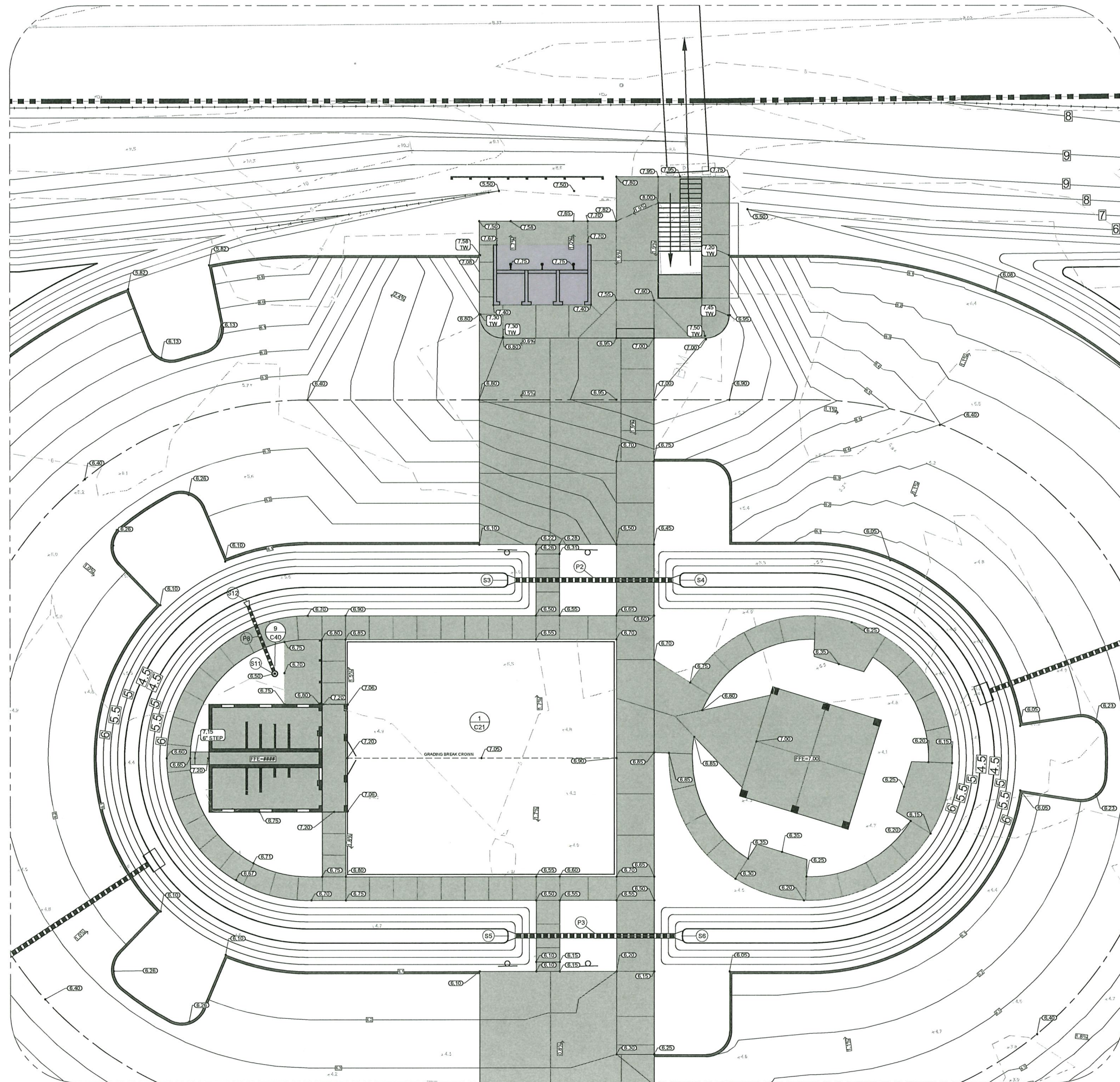


STRUCTURES INTERNATIONAL, LLC
1800 W. STATE ROAD 100, SUITE 100
ORANGE PARK, FL 32067
TEL: (904) 264-1919
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| GRADING PLAN | |
|--------------|------------|
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| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 202224 |

C4

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PLAN LEGEND

-  COQUINA PARKING AREA STABILIZED WITH TRUEGRID PERMEABLE PAVER (SEE DETAIL).
-  CONCRETE PAVEMENT (SEE DETAIL).

PLAN GENERAL NOTES

1. SEE ALSO GENERAL CIVIL PROJECT NOTES SHEET C1.
2. ALL DIMENSIONS ARE TO BACK OF RIBBON CURB U.O.N.
3. ALL RADII ARE MINIMUM 5' U.O.N.

PLAN SECTIONS & DETAILS

| NO. | SHEET | NAME |
|-----|-------|--|
| 1 | C21 | POURED IN PLACE PIP PLAYGROUND SURFACE SECTION |
| 8 | C40 | NYLOPLAST DRAIN BASIN |



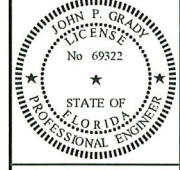
**BHIDE & HALL
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1329 KINGSLEY AVE., SUITE C
ORANGE PARK, FL 32073
TEL: (904) 264-1919
WWW.BHIDE-HALL.COM
LIC. NO. AR0011549

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| | 03/04/2024 | |
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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL. 32084

Prepared: John P. Grady
License No: 69322

John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:55:33 -05'00'



STRUCTURES INTERNATIONAL, LLC
1732 PALM BEACH BLVD., SUITE 100
WEST PALM BEACH, FL 33411
(561) 861-1000

ENLARGED GRADING PLAN

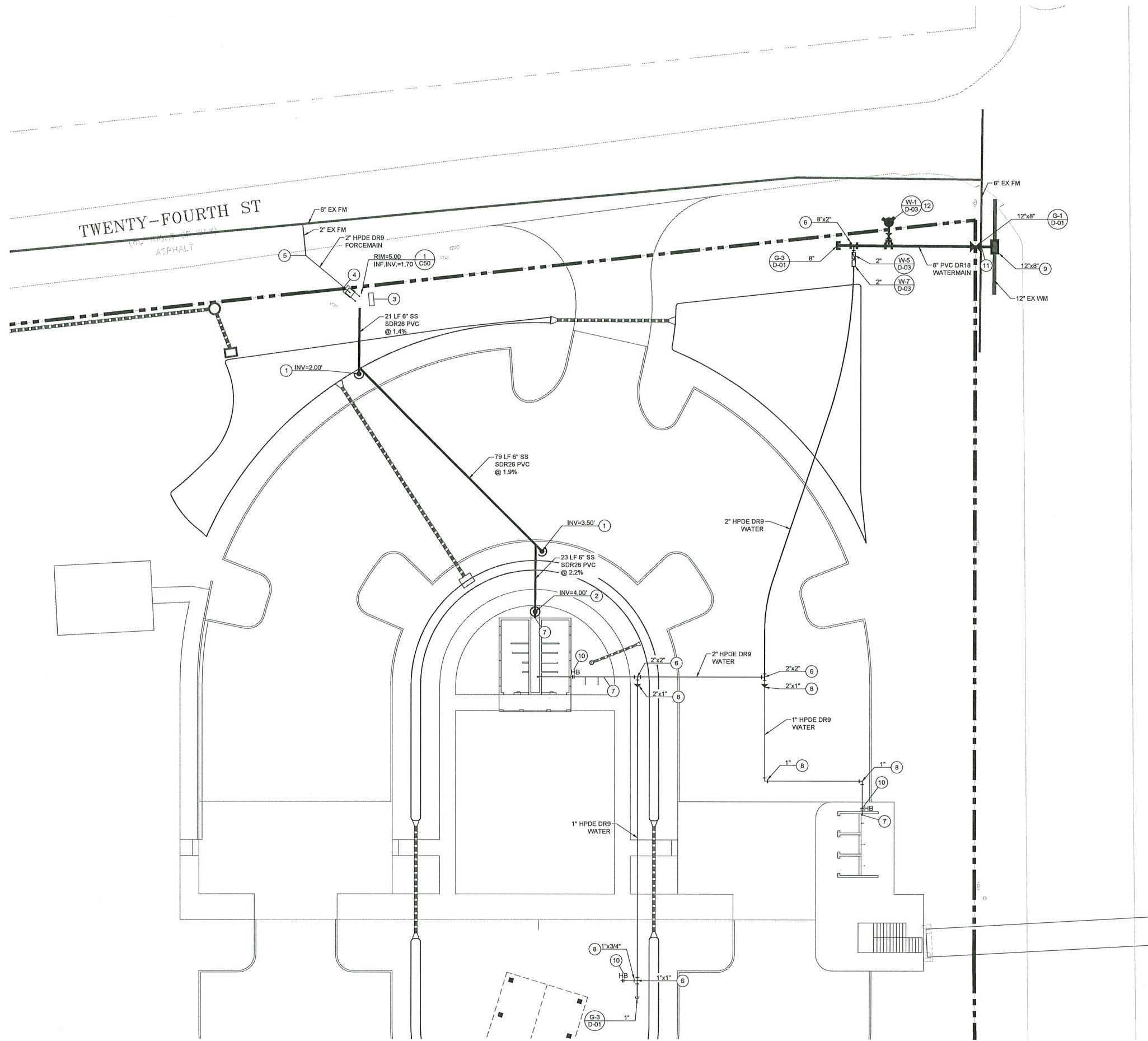
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|---------|------------|
| DATE | 03/04/2024 |
| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 202224 |

C4.1

1 ENLARGED PARTIAL SITE PLAN
SCALE: 1" = 10'



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1 UTILITY PLAN
SCALE: 1" = 15'



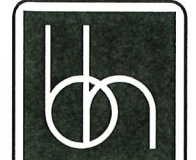
- PLAN GENERAL NOTES**
- SEE GENERAL CIVIL PROJECT NOTES SHEET C1.
 - SEE SHEET GN-1 FOR ST. JOHN COUNTY UTILITY DEPARTMENT GENERAL NOTES.
 - ALL WORK SHALL BE ACCORDANCE WITH SJCUD STANDARDS.
 - DEPICTION OF LOCATION EXISTING UTILITIES IS APPROXIMATE, CONTRACTOR SHALL VERIFY PRECISE LOCATIONS PRIOR TO CONSTRUCTION.
 - ANY WORK NEAR EXISTING ELECTRICAL POLES SHALL BE COORDINATED WITH FPL PRIOR TO CONSTRUCTION.
 - SEE MAINTENANCE OF TRAFFIC PLAN FOR WORK WITHIN A1A ROW.

- ST. JOHNS COUNTY FIRE SERVICES NOTES**
- HYDRANTS SHALL BE INSTALLED ON FLAT STONES, CONCRETE SLABS, OR OTHER APPROVED MATERIALS.
 - HYDRANTS SHALL BE INSTALLED SO LARGE DIAMETER (4.5 INCH) OUTLET IS FACING THE ROADWAY.
 - HYDRANTS SHALL BE INSTALLED SO CENTER OR LOWEST OUTLET IS MINIMUM OF 18 INCHES ABOVE FINAL GRADE.
 - HYDRANT SHALL OPEN COUNTER CLOCKWISE.
 - BLUE ROAD REFLECTORS SHALL BE INSTALLED IN THE CENTER OF THE ROAD IN FRONT OF THE HYDRANT. (LDC 6.03.03).

- PLAN SECTIONS & DETAILS**
- | NO. | SHEET | NAME |
|-----|-------|--|
| 1 | C50 | DUPLIX GRINDER SEWAGE PUMP STATION |
| G-1 | D-01 | GATE VALVE & BOX (SEE PLAN FOR SIZE) |
| W-1 | D-03 | FIRE HYDRANT |
| W-5 | D-03 | REDUCED PRESSURE ZONE ASSEMBLY (SEE PLAN FOR SIZE) |
| W-7 | D-03 | WATER METER (SEE PLAN FOR SIZE) |

- PLAN TAGGED NOTES**
- CLEANOUT
 - TWO-WAY CLEANOUT
 - PUMP STATION CONTROL PANEL SEE PUMP STATION DETAILS
 - PUMP STATION VALVE BOX SEE PUMP STATION DETAILS
 - CONTRACTOR TO LOCATE AND CONNECT TO EXISTING FORCEMAIN TAP
 - MECHANICAL TEE JOINT (SEE PLAN FOR SIZE)
 - SEE PLUMBING PLANS FOR CONTINUATION
 - MECHANICAL 90° ELBOW (SEE PLAN FOR SIZE)
 - STAINLESS STEEL TAPPING SLEEVE (SEE PLAN FOR SIZE)
 - HOSE BIB
 - WATER OVER SS FORCEMAIN MIN 12" SEPERATION AND MIN 30" COVER. NOTIFY EOR IF EXISTING CONDITIONS DO NOT PERMIT.
 - PUBLICLY OWNED AND MAINTAINED HYDRANT. HYDRANT TO BE COLORED CHROMIUM YELLOW WITH WHITE REFLECTIVE CAPS.

John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:55:53 -05'00'



BHIDE & HALL ARCHITECTS, P.A.
1325 KINGSLEY AVE., SUITE C
ORANGE PARK, FL 32073
PH: (904) 264-1919
WWW.BHIDE-HALL.COM
LIC. NO. AR0011549

| DATE | REVISIONS |
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| 03/04/2024 | DISCUSSION |
| | REVISED PER SJC COMMENTS |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Engineer License No.
John P. Grady 69322

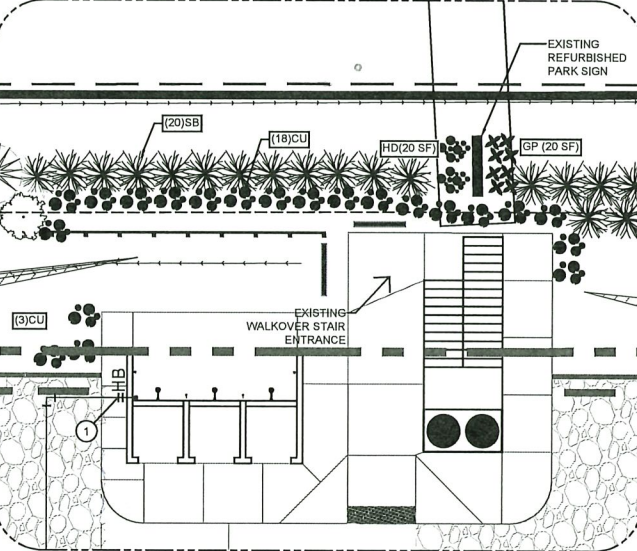
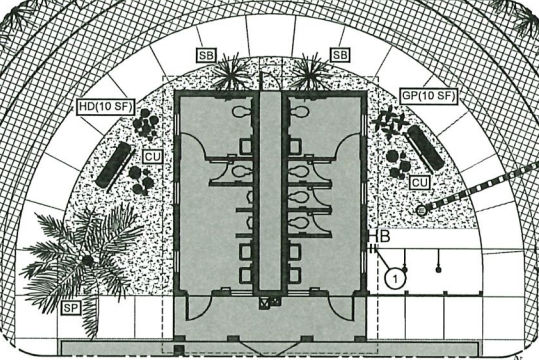
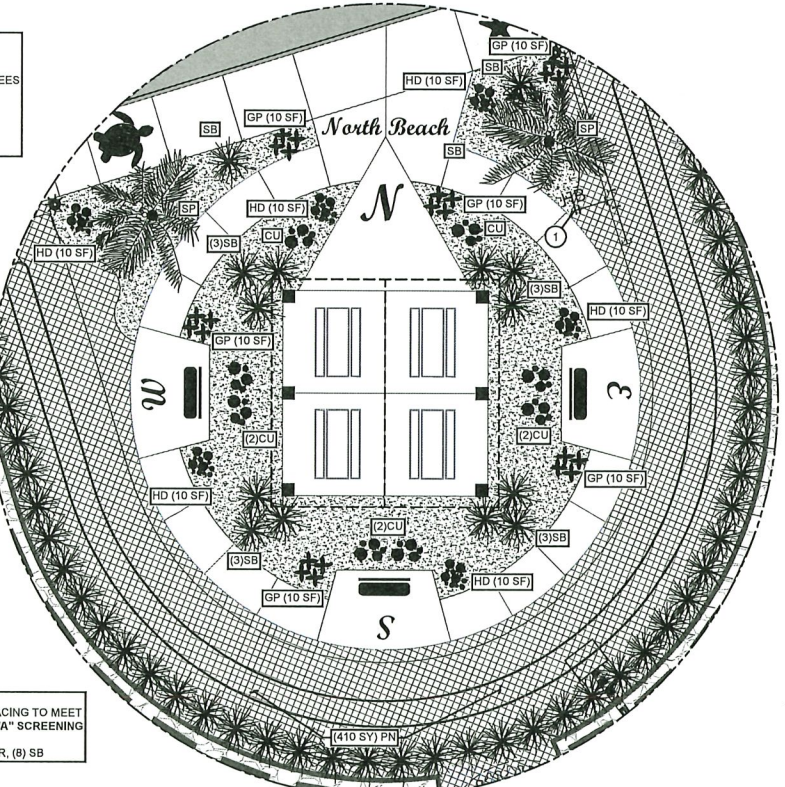
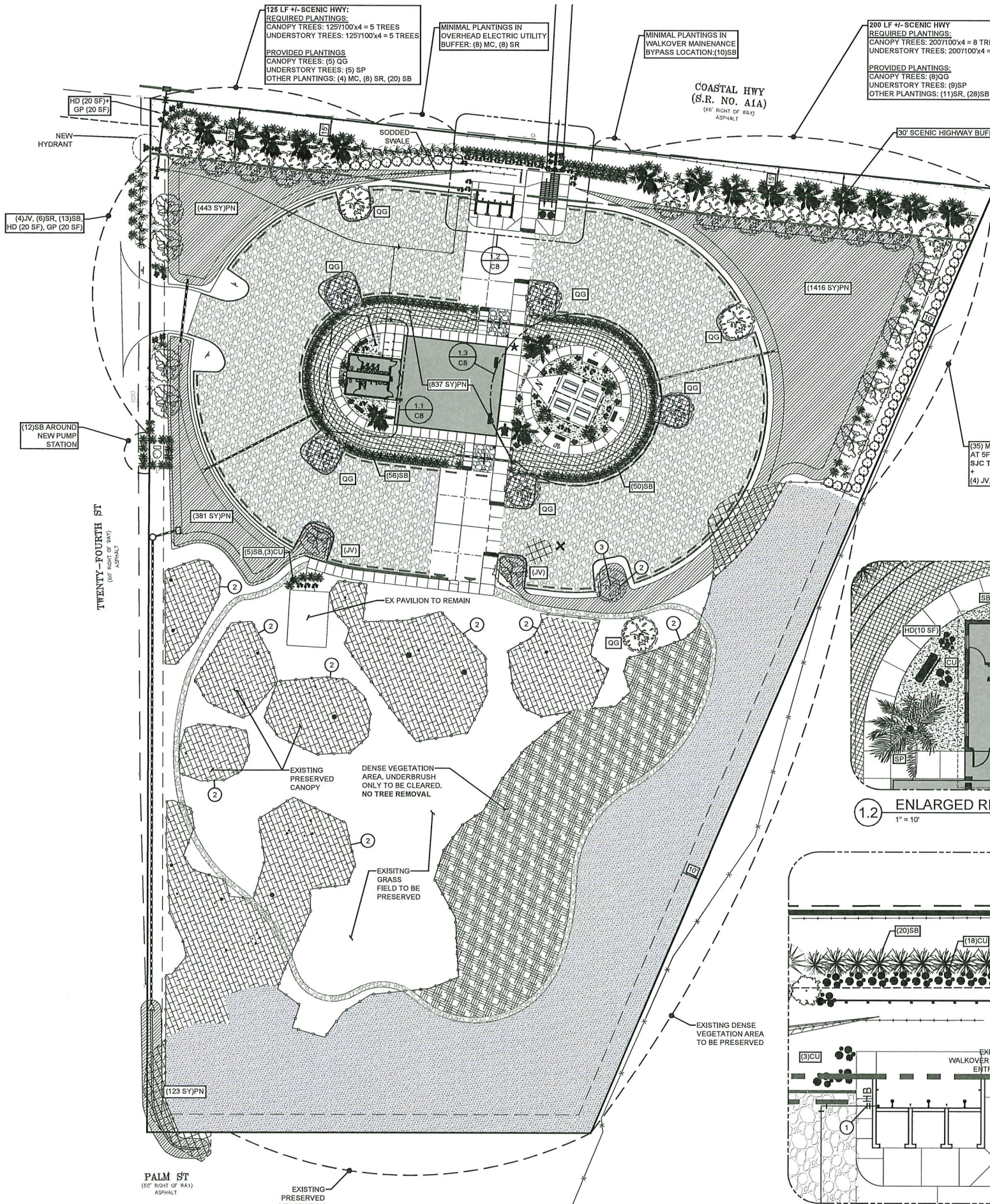


UTILITY PLAN

| | |
|---------|------------|
| DATE | 03/04/2024 |
| D.B. | AJB |
| C.B. | JFG |
| JOB NO. | 202224 |

C5

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- PLAN TAGGED NOTES**
- HOSE BIB
 - PROPOSED TREE PROTECTION AREA (SEE FDOT INDEX 110-100)
 - EXISTING 7" OAK TO BE PRESERVED.

- LANDSCAPE PLAN NOTES:**
- ANY DISTURBED AREAS NOT SPECIFIED TO RECEIVE SOD OR OTHER GROUND COVER PER THIS PLAN SHALL BE STABILIZED WITH HYDROSEEDING BAHIA.
 - CONTRACTOR SHALL ESTABLISH ALL NEW TREE PLANTINGS WITH GATOR BAGS MAINTAINED UNTIL OWNER'S FINAL INSPECTION AND ACCEPTANCE.
 - VEGETATION THAT EXCEEDS TWENTY-FIVE (25) FEET IN HEIGHT AT MATURITY SHOULD NOT BE PLANTED CLOSER THAN FIFTEEN (15) FEET OF THE VERTICAL PLANE OF AN EXISTING POWER LINE, EXCLUDING SERVICE WIRES.
 - BALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS SHOULD BE CUT AWAY FROM TOP ONE-THIRD OF ROOT BALL.
 - NON-CANOPY TREES SHALL NOT BE PLANTED CLOSER THAN 10 FEET FROM OTHER TREES AND CANOPY TREES NO CLOSER THAN 20-30 FEET, DEPENDING ON SPECIES.
 - PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR GRADE #1 OR BETTER AS GIVEN IN THE LATEST "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES OR TO THE STANDARDS AS GIVEN IN THE LATEST "AMERICAN STANDARD FOR NURSERY STOCK," AMERICAN NATIONAL STANDARDS INSTITUTE.
 - PINE BARK OR PINE STRAW MULCH SHALL BE PROVIDED A MINIMUM OF TWO TO THREE INCHES IN DEPTH AROUND ALL NEWLY PLANTED LANDSCAPING.
 - A MULCH RING FOR ALL NEWLY PLANTED TREES SHALL BE PROVIDED AT LEAST FIVE (5) FEET IN DIAMETER AND NOT CLOSER THAN SIX (6) INCHES FROM THE TREE TRUNK.
 - TREES SHALL HAVE A MINIMUM HEIGHT OF (8) EIGHT TO (10) FEET AND (2) TWO INCHES OF CALIPER.
 - SHRUB LINES ARE TO BE PLANTED AT THE REQUIRED MINIMUM HEIGHT, NOT BY CONTAINER SIZE.
 - SOIL IN TREE ISLANDS SHALL HAVE AT LEAST 12" OF SUITABLE SOIL FOR TREE PLANTINGS, AND BE VOID OF ANY CONSTRUCTION DEBRIS OR UNSUITABLE MATERIALS.
 - TREES SHALL NOT BE PLANTED CLOSER THAN 7.5' FROM THE CENTERLINE OF UNDERGROUND UTILITIES.
 - ALL SODDING PLACED ON ANY SLOPE GREATER THAN 3:1 SHALL BE STAGGERED AND STAKED.

TREE CALCULATIONS:

TOTAL REMOVED TREE INCHES = 8 INCHES
 TOTAL PRESERVED TREE INCHES = 1684 INCHES
 TOTAL PLANTED TREE INCHES = 185 INCHES
 TOTAL TREE INCHES PLANTED+PRESERVED = 1869 INCHES
 PROJECT AREA = 4.5 ACRES
 PROPOSED INCHES PER ACRE PROVIDED = 415 INCHES PER ACRE
 INCHES PER ACRE REQUIRED = 80 INCHES PER ACRE

- IRRIGATION NOTES:**
- THE CONTRACTOR SHALL INCLUDE IN THEIR SCOPE OF CONSTRUCTION AN AUTOMATIC IRRIGATION DESIGN FOR THE CENTER AMENITY LANDSCAPE AREAS INCLUDING UP TO THE PERIMETER BERMUDA SOD SWALE. CONTRACTOR SHALL PREPARE AN IRRIGATION DESIGN PREPARED IN ACCORDANCE WITH THE FLORIDA PLUMBING CODE APPENDIX F AND SUBMIT TO THE EOR FOR APPROVAL.
 - ALL OTHER LANDSCAPE AREAS SHALL BE MANUALLY WATERED UTILIZING PROVIDED HOSE BIBS WITH A MINIMUM FREQUENCY OF ONCE A WEEK DURING DRY PERIODS OR AS OTHERWISE REQUIRED TO PROPERLY MAINTAIN THE LANDSCAPING PER UF/IFAS RECOMMENDATIONS AND INDUSTRY STANDARDS.

| LANDSCAPE SCHEDULE | | | | | | |
|---------------------|---|-------------------------|-----|---------|-------------------|------------------------------------|
| SYMBOL | COMMON NAME | SCIENTIFIC NAME | TAG | QTY | TOTAL TREE INCHES | SPECIFICATIONS |
| TREES | | | | | | |
| [Symbol] | SAND LIVE OAK | QUERCUS GERMINATA | QG | 21 | 63 | 3" CALIPER, 10' TALL |
| [Symbol] | SOUTHERN RED CEDAR | JUNIPERUS VIRGINIANA | JV | 10 | 20 | 2" CALIPER, 10' TALL |
| [Symbol] | CABBAGE PALM | SABEL PALMETTO | SP | 17 | 102 | 6" CALIPER, 15' CLEAR TRUNK HEIGHT |
| BUSHES | | | | | | |
| [Symbol] | WAX MYRTLE | MYRICA CERIFERA | MC | 47 | | 4" CALIPER, 15' TALL |
| [Symbol] | SEAGRAPE | COCOLOBA UVIFERA | CU | 34 | | 24" HEIGHT |
| [Symbol] | SAW PALMETTO | SERENOA REPENS | SR | 37 | | 3 GALLON |
| GROUND COVER | | | | | | |
| [Symbol] | SAND CORDGRASS | SPARTINA BAKERI | SB | 238 | | 3 GALLON |
| [Symbol] | BEACH SUNFLOWER | HELIANTHUS DEBILLIS | HD | 14 SY | | |
| [Symbol] | BLANKET FLOWER | GALLARDIA PULCHELLA | GP | 14 SY | | |
| [Symbol] | BERMUDA SOD | CYNODON DACTYLON | CD | 837 SY | | |
| [Symbol] | BAHIA SOD | PASPULUM NOTATUM FLUGGE | PN | 2364 SY | | |
| [Symbol] | WASHED SHELL | | | 220 SY | | |
| [Symbol] | COQUINA | | | 4417 SY | | |
| [Symbol] | PRESERVED TREE CANOPY | | | 2152 SY | | |
| [Symbol] | DENSE UNDERBRUSH ONLY TO BE CLEARED (TREES TO BE PRESERVED) | | | 1434 SY | | |
| [Symbol] | PRESERVED DENSE VEGETATION | | | 3588 SY | | |
| [Symbol] | VEGETATION TO BE CLEARED | | | 136 SY | | |

1 LANDSCAPE PLAN
SCALE: 1" = 30'

1.1 ENLARGED WALKOVER AREA
1" = 10'

1.3 ENLARGED PAVILLION AREA
1" = 10'

1.2 ENLARGED RESTROOM AREA
1" = 10'

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ORANGE PARK, FL 32073
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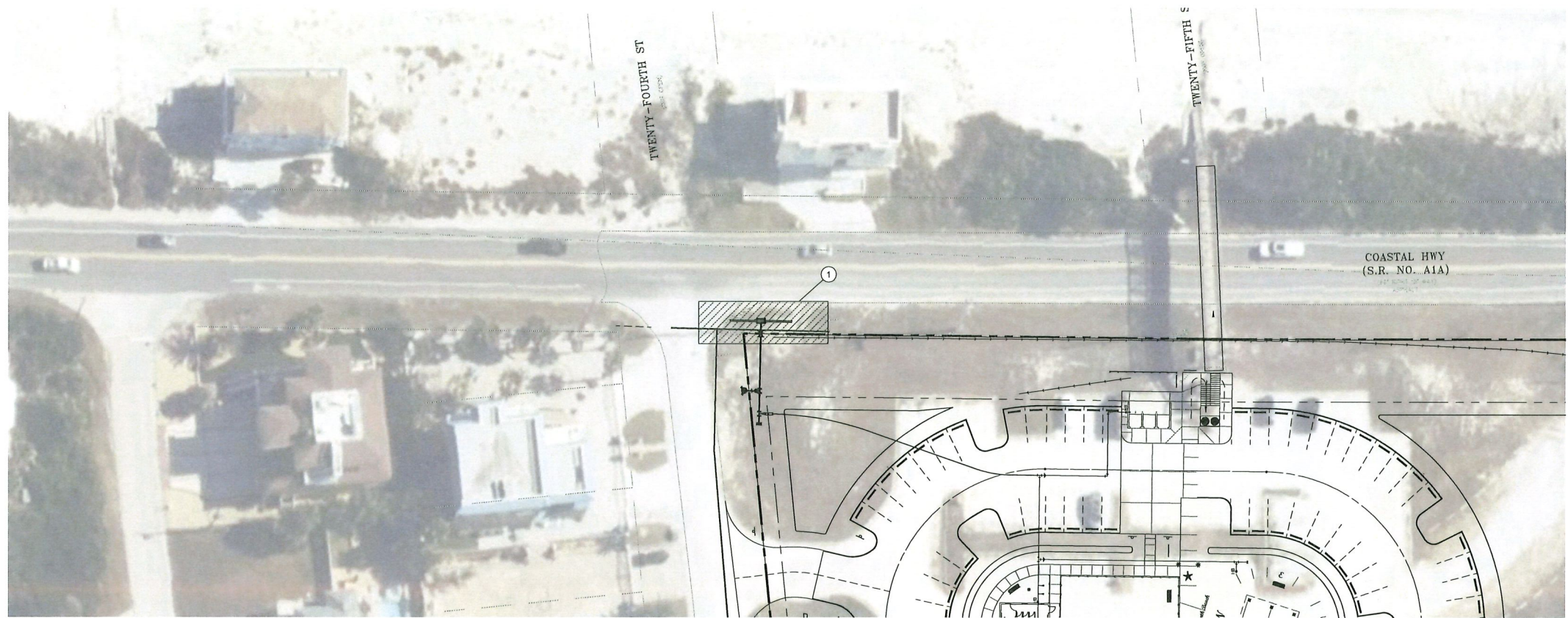
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STRUCTURES INTERNATIONAL, LLC
LANDSCAPE PLAN

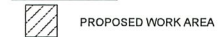
| DATE | BY |
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| 03/04/2024 | AJB |
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C6



1 MAINTENANCE OF TRAFFIC AREA
SCALE: 1" = 30'

PLAN LEGEND

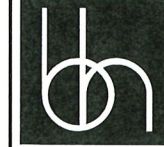


PLAN GENERAL NOTES

1. SEE ALSO GENERAL CIVIL PROJECT NOTES SHEET C1.

PLAN TAGGED NOTES

1. MAINTAIN TRAFFIC IN ACCORDANCE WITH FDOT INDEX 102-602 FOR WORK WITHIN RIGHT OF WAY.



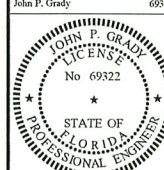
**B. HIDE & HALL
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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Engineer License No.
John P. Grady 69322

John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:57:55 -05'00'



MAINTENANCE OF TRAFFIC

| | |
|---------|------------|
| DATE | 03/04/2024 |
| D.B. | AJH |
| C.B. | JPG |
| JOB NO. | 202224 |

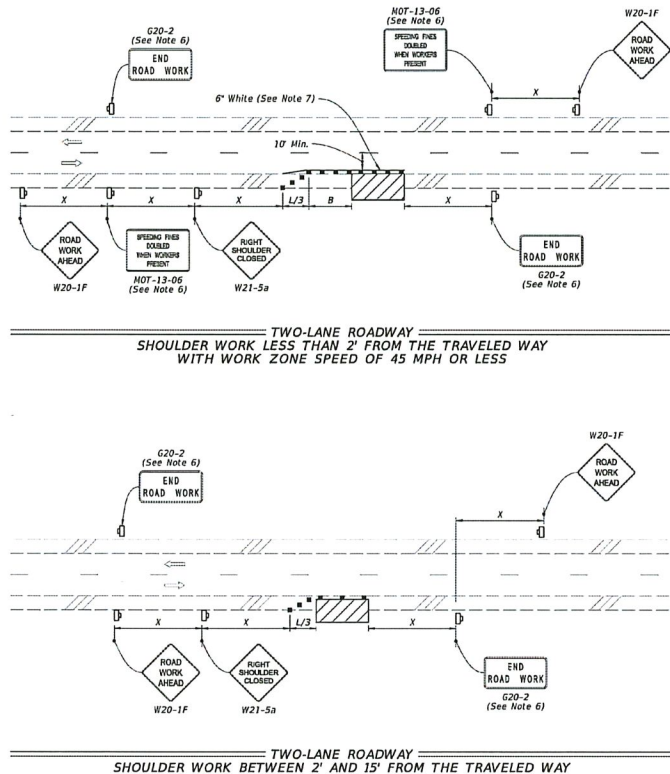
C7

NOTE:

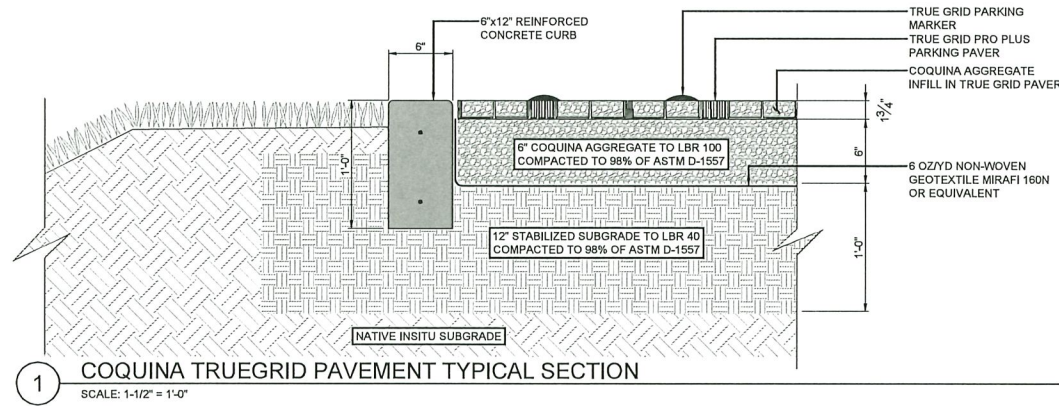
- This Index applies to Two-Lane, Two-Way and Multilane Roadways, including Medians of divided roadways, with work on the shoulder.
- L = Taper Length
X = Work Zone Sign Spacing
B = Buffer Length
See Index 102-600 for "L", "X", "B", and channelizing device spacing values.
- Where work activities are between 2' and 15' from the edge of traveled way, the Engineer may omit signs and channelizing devices for work operations 60 minutes or less.
- When four or more work vehicles enter the through traffic lanes in a one hour period (excluding establishing and terminating the work area), use a flagger or lane closure to accommodate work vehicle ingress and egress.
- For work less than 2' from the traveled way and work zone speed is greater than 45 MPH, use a lane closure.
- The "Speeding Fines Doubled When Workers Present" signs (NOT-13-06) and "End Road Work" Signs (G20-2) along with the associated work zone sign spacing distances may be omitted when the work operation is in place for 24 hours or less.
- Temporary pavement markings may be omitted when the work operation is in place for 3 days or less.
- Omit "Shoulder Closed" signs (W21-5a) along with associated work zone sign spacing distances for work on the median.
- When there is no paved shoulder, the "Worker" sign (W21-1) may be used instead of the "Shoulder Closed" sign (W21-5a).

SYMBOLS:

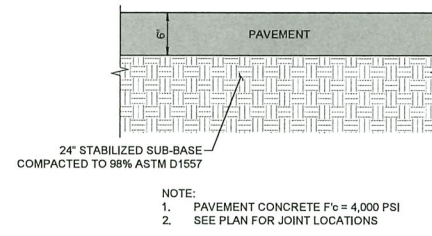
- Work Area
- Channelizing Device (See Index 102-600)
- Work Zone Sign
- Lane Identification and Direction of Traffic



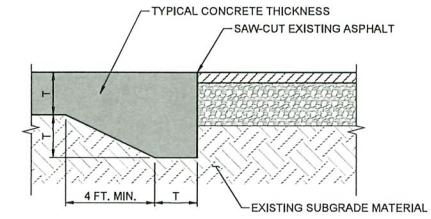
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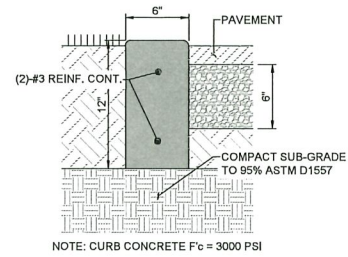
1 COQUINA TRUEGRID PAVEMENT TYPICAL SECTION
SCALE: 1-1/2" = 1'-0"



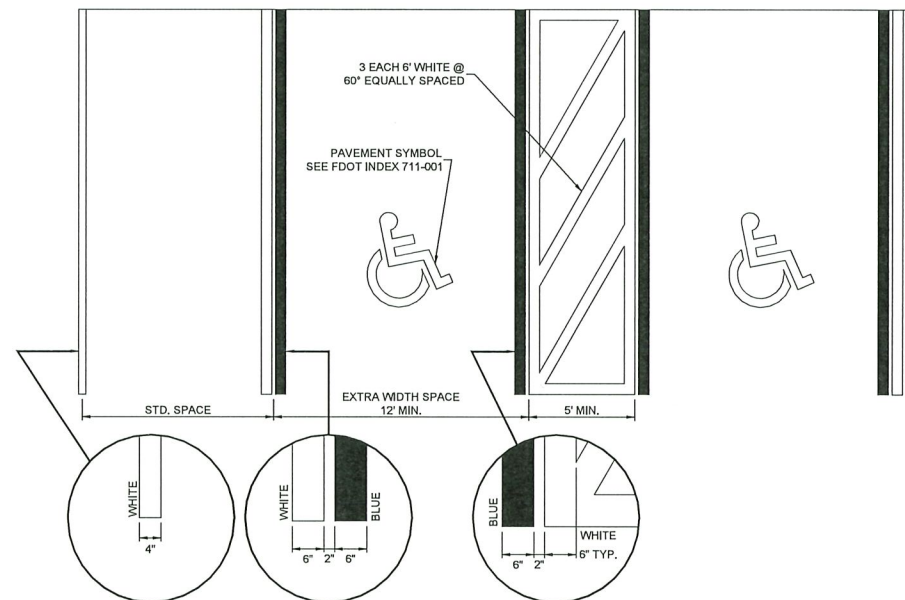
2 CONCRETE PAVEMENT TYPICAL SECTION
NOT TO SCALE



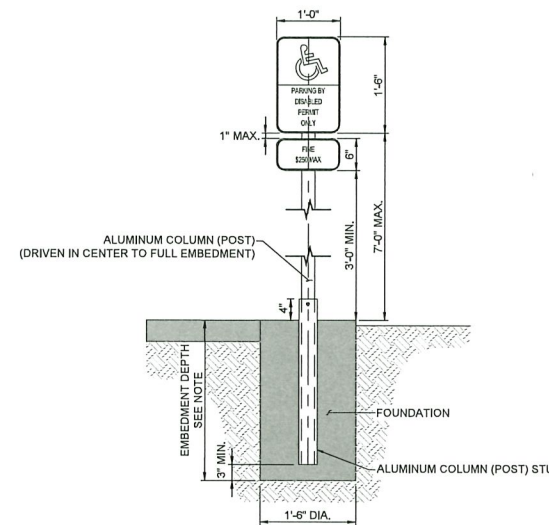
3 CONCRETE / FLEXIBLE PAVEMENT TRANSITION DETAIL
NOT TO SCALE



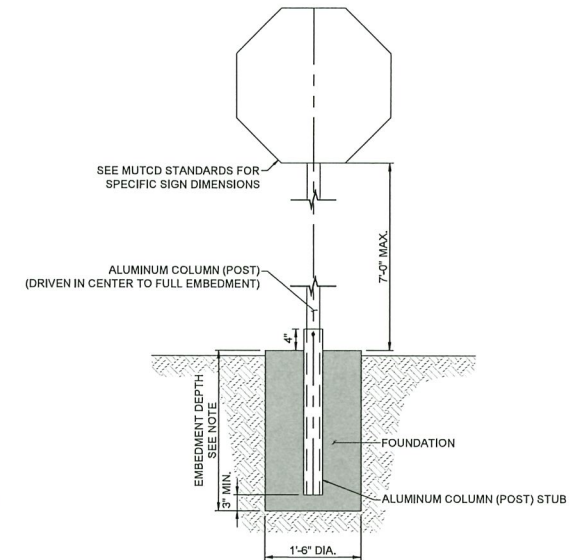
4 TYPICAL FLUSH RIBBON CURB
SCALE: 1-1/2" = 1'-0"



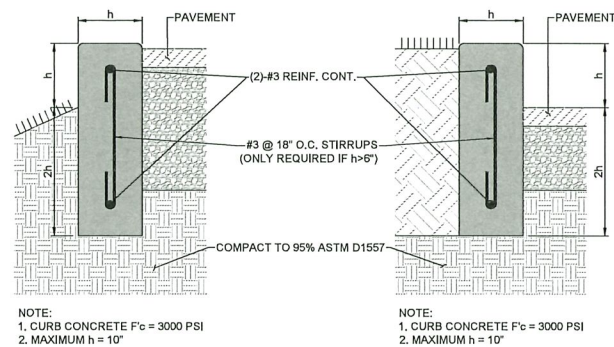
5 ADA PARKING SPACE PAINT STRIPING
NOT TO SCALE



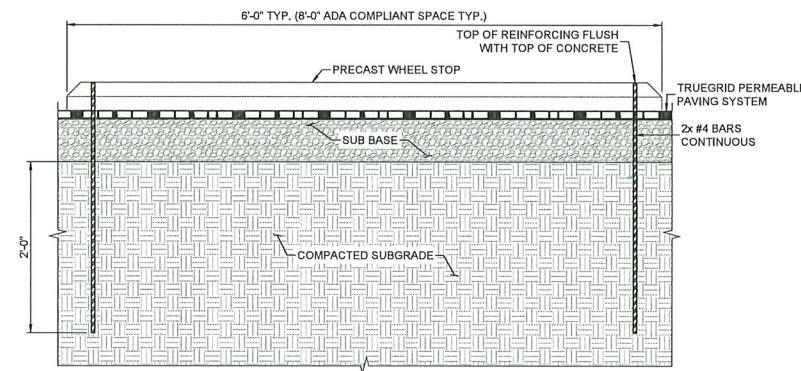
6 ACCESSIBLE PARKING SIGN
NOT TO SCALE



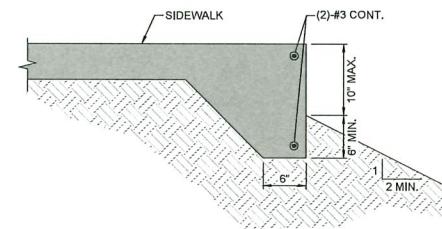
7 TYPICAL SIGN INSTALLATION DETAIL
NOT TO SCALE



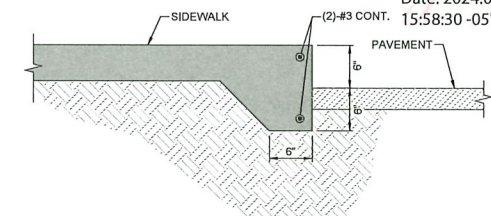
8 TYPICAL CURB AT GRADE CHANGE
SCALE: 1-1/2" = 1'-0"



9 PRECAST CONCRETE WHEEL STOP
SCALE: 1" = 1'-0"



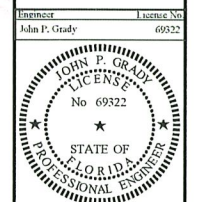
10 SIDEWALK AT GRADING SLOPE
SCALE: 1" = 1'-0"



11 RAISED SIDEWALK AT PAVEMENT
SCALE: 1" = 1'-0"

John P Grady

Digitally signed by John P Grady
Date: 2024.03.04 15:58:30 -05'00'



| | |
|---------|------------|
| DATE | 03/04/2024 |
| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 20224 |

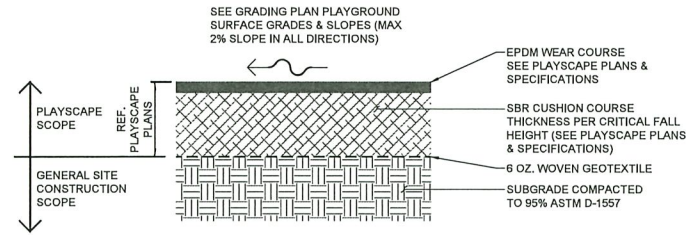
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ORANGE PARK, FL 32073
PH: (904) 264-1919
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LIC. NO. AR0011549

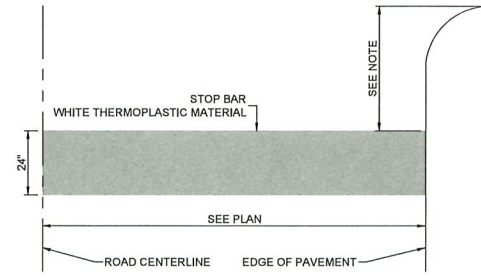
| REVISIONS | DATE | DESCRIPTION |
|-----------|------------|--------------------------|
| 1 | 03/04/2024 | REVISED PER SJC COMMENTS |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

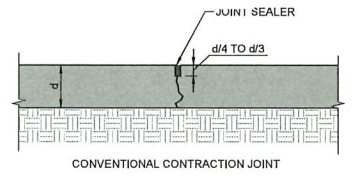
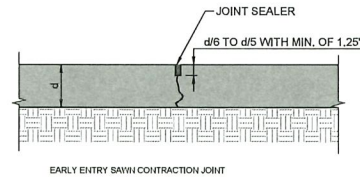
STRUCTURES INTERNATIONAL, LLC
1702 N. W. 10TH AVE., SUITE 100
MIAMI, FL 33136
(305) 571-1111



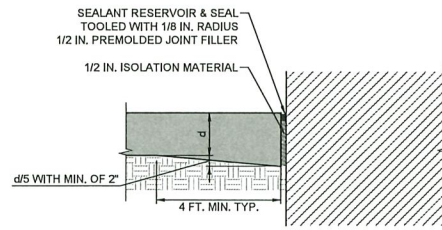
1 POURED IN PLACE PLAYGROUND SURFACE
NOT TO SCALE



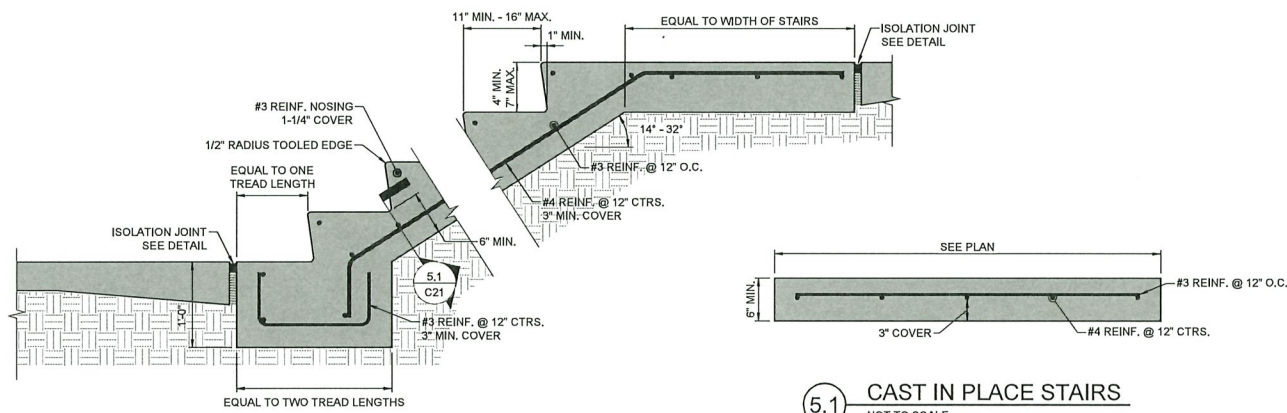
2 ADA PARKING SPACE PAINT STRIPING
NOT TO SCALE



3 CONTRACTION JOINT DETAIL
NOT TO SCALE

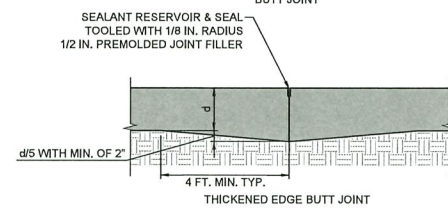
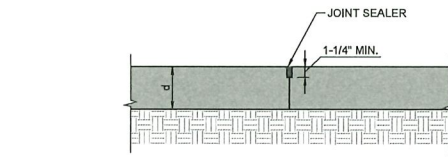


4 THICKENED ISOLATION JOINT DETAIL
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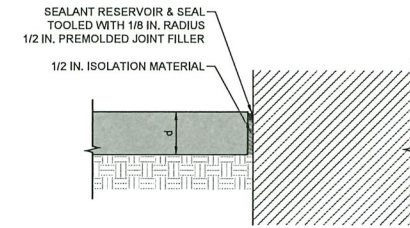


5 CAST IN PLACE STAIRS
NOT TO SCALE

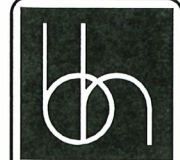
5.1 CAST IN PLACE STAIRS
NOT TO SCALE



6 CONSTRUCTION JOINT DETAIL
NOT TO SCALE



7 TYPICAL ISOLATION JOINT DETAIL
NOT TO SCALE



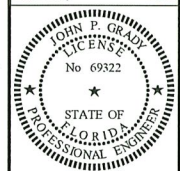
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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
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3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Engineer: John P. Grady
License No: 69322

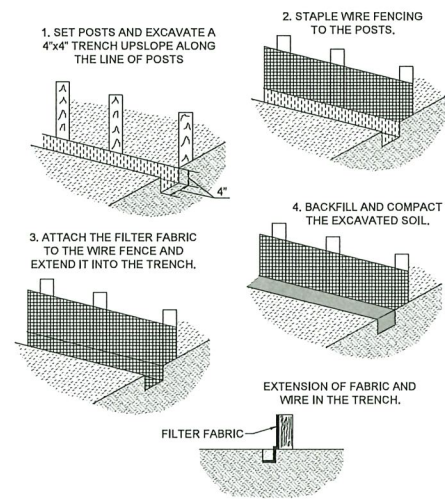
John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:58:50 -05'00'



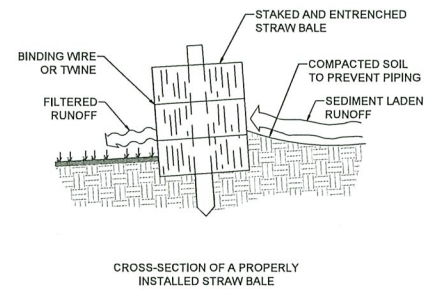
| SITE DETAILS | |
|--------------|------------|
| DATE | 03/04/2024 |
| D.B. | A/JH |
| C.B. | J/PG |
| JOB NO. | 202224 |

C21

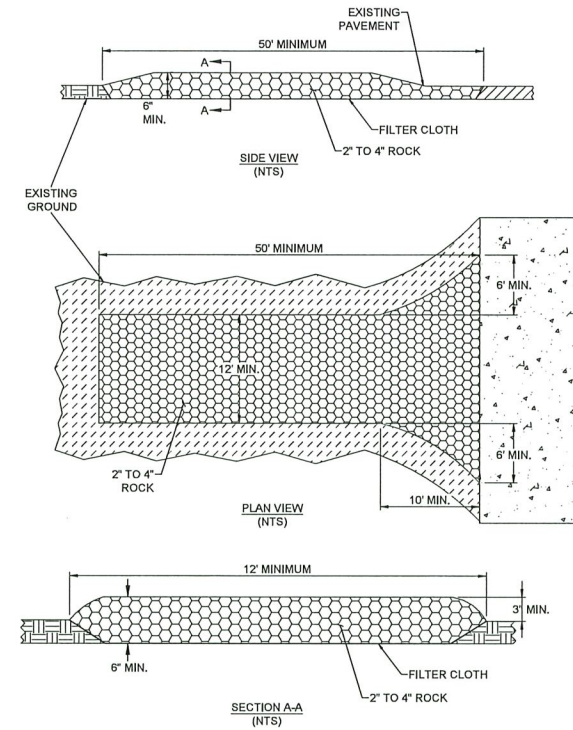
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1 CONSTRUCTION DETAILS FOR SILT FENCES
NOT TO SCALE

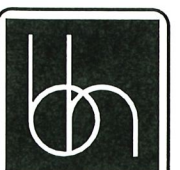


CROSS-SECTION OF A PROPERLY INSTALLED STRAW BALE
2 STAKED HAY BALE
NOT TO SCALE



3 SOIL TRACKING PREVENTION DEVICE
SCALE: 3/4" = 1'-0"

John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:59:10 -05'00'

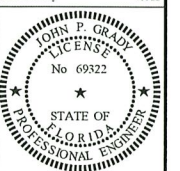


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ORANGE PARK, FL 32073
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| SYMBOL | DATE | DESCRIPTION |
|--------|------------|--------------------------|
| | 03/04/2024 | REVISED PER SJC COMMENTS |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Engineer License No.
John P. Grady 69322



STRUCTURES INTERNATIONAL, LLC
STRUCTURES INTERNATIONAL
1702 HIGHLAND BLVD. SUITE 200
AUGUSTA, GA 30606
(706) 733-2388

SEDIMENT & EROSION CONTROL DETAILS

| | |
|---------|------------|
| DATE | 03/04/2024 |
| D.B. | AJB |
| C.B. | JYG |
| JOB NO. | 202224 |

C30

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OWNER'S REQUIREMENTS

| | | | | | | | | | | | | | |
|--|---|-------------------|-------------|------|---------|--------------------------|----------------|-----|-------------------|-------------------|------------|--------|-------------|
| <p style="text-align: center;">SITE DESCRIPTION</p> <p>PROJECT NAME AND LOCATION: NORTH BEACH PARK RENOVATION 3721 COASTAL HIGHWAY ST. AUGUSTINE, FL 32084</p> <p>OWNER/DEVELOPER NAME AND ADDRESS: ST. JOHNS COUNTY ST. JOHNS COUNTY PUBLIC WORKS 2750 INDUSTRY CENTER ROAD ST. AUGUSTINE, FL 32084 (904) 209-0115</p> <p>DESCRIPTION: THIS PROJECT WILL CONSIST OF: CONSTRUCTION OF A PUBLIC RESTROOM, CHANGING ROOMS, PAVILION AND SOIL DISTURBING ACTIVITIES WILL INCLUDE: CLEARING AND GRUBBING, INSTALLING STABILIZED CONSTRUCTION ENTRANCES, PERIMETER AND OTHER EROSION AND SEDIMENT CONTROLS, GRADING, EXCAVATION FOR THE STORMWATER MANAGEMENT FACILITIES, NEW PAVEMENT SURFACES. GENERAL RUNOFF CURVE NUMBERS (REFER TO DRAINAGE CALCULATIONS FOR ACTUAL CURVE NUMBERS FOR EACH BASIN)</p> <p>1. PRE-CONSTRUCTION = 39 ± 2. DURING CONSTRUCTION = 67 ± 3. POST-CONSTRUCTION = 67 ±</p> <p>SOILS: * SEE ATTACHED FOR SOILS DATA SITE MAPS: * SEE SURVEY FOR EXISTING GRADE AND SITE CONDITIONS. * SEE EROSION & SEDIMENT CONTROL AND DEMOLITION PLAN FOR TEMPORARY STORMWATER CONTROL MEASURES. * SEE GRADING PLAN FOR PERMANENT STORMWATER CONTROL MEASURES.</p> <p>SITE AREA: 1. TOTAL AREA OF SITE = 4.5 AC± 2. TOTAL AREA TO BE DISTURBED = 2.5 AC±</p> <p>NAME OF RECEIVING WATERS: INTRACOASTAL WATERWAY (TACOMATO RIVER)</p> | <p style="text-align: center;">GENERAL</p> <p>THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND TURBIDITY CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS. DEPENDING ON THE NATURE OF MATERIAL AND METHODS OF CONSTRUCTION THE CONTRACTOR MAY BE REQUIRED TO ASS FLOCCULANTS TO THE RETENTION SYSTEM PRIOR TO PLACING THE SYSTEM INTO OPERATION.</p> <p style="text-align: center;">SEQUENCE OF MAJOR ACTIVITIES:</p> <p>THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:</p> <ol style="list-style-type: none"> INSTALL STABILIZED CONSTRUCTION ENTRANCE INSTALL SILT FENCES AND INLET PROTECTION AS REQUIRED CLEAR AND GRUB FOR DIVERSION SWALES/DIKES AND SEDIMENT BASIN CONSTRUCT SEDIMENTATION BASIN CONTINUE CLEARING AND GRUBBING STICK PILE TOP SOIL IF REQUIRED PERFORM PRELIMINARY GRADING ON SITE AS REQUIRED STABILIZE DISTURBED AREAS AND STOCKPILES AS SOON AS PRACTICABLE INSTALL UTILITIES STORM SEWER, CURBS & GUTTER APPLY BASE TO PARKING AREAS COMPLETE GRADING AND INSTALL PERMANENT SEEDING/SOD AND PLANTING COMPLETE FINAL PAVING REMOVE ACCUMULATED SEDIMENT FROM BASINS WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED, REMOVE ANY TEMPORARY DIVERSION SWALES/DIKES AND RESEED/SOD AS REQUIRED <p style="text-align: center;">TIMING OF CONTROL AND MEASURES</p> <p>AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES AND INLET PROTECTION, STABILIZED CONSTRUCTION ENTRANCE AND SEDIMENT BASIN WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY CEASED. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED PERMANENTLY IN ACCORDANCE WITH THE PLANS. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAPS AND THE EARTH DIKES/SWALES WILL BE REGRADED/REMOVED AND STABILIZED IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL PLAN.</p> <p style="text-align: center;">CONTROLS</p> <p>IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND TURBIDITY CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN. IT IS ALSO THE CONTRACTORS RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT TURBID OR POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION AND TURBIDITY CONTROLS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND TURBIDITY CONTROL REQUIREMENTS. THE FOLLOWING BEST MANAGEMENT PRACTICES WILL BE IMPLEMENTED BY THE CONTRACTOR AS REQUIRED BY THE EROSION AND SEDIMENT CONTROL PLAN AND AS REQUIRED TO MEET THE SEDIMENT AND TURBIDITY REQUIREMENTS IMPOSED ON THE PROJECT SITE BY REGULATORY AGENCIES.</p> <p>EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES</p> <ol style="list-style-type: none"> SYNTHETIC BALE BARRIER: SYNTHETIC BALE BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT. IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES. WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. EVERY EFFORT SHOULD BE MADE TO LIMIT THE USE OF SYNTHETIC BALE BARRIER CONSTRUCTED IN LIVE STREAMS OR IN SWALES WHERE THERE IS THE POSSIBILITY OF A WASHOUT. IF NECESSARY, MEASURES SHALL BE TAKEN TO PROPERLY ANCHOR BALES TO INSURE AGAINST WASHOUT. FILTER FABRIC BARRIER: FILTER FABRIC BARRIERS CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 33 PERCENT IN MINOR SWALES OR DITCH LINES WHERE THE MAXIMUM CONTRIBUTING DRAINAGE AREA IS NO GREATER THAN 2 ACRES BRUSH BARRIER WITH FILTER FABRIC: BRUSH BARRIER MAY BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION WHERE ENOUGH RESIDUE MATERIAL IS AVAILABLE ON SITE. LEVEL SPREADER: A LEVEL SPREADER MAY BE USED WHERE SEDIMENT-FREE STORM RUNOFF IS INTERCEPTED AND DIVERTED AWAY FROM THE GRADED AREAS ONTO UNDISTURBED STABILIZED AREAS. THIS PRACTICE APPLIES ONLY IN THOSE SITUATIONS WHERE THE SPREADER CAN BE CONSTRUCTED ON UNDISTURBED SOIL AND THE AREA BELOW THE LEVEL LIP IS STABILIZED. THE WATER SHOULD NOT BE ALLOWED TO RECONCENTRATE AFTER RELEASE. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO AN ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY. EXPOSED AREA LIMITATION: THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 10 ACRES. THE REQUIREMENT MAY BE WAIVED FOR LARGE PROJECTS WITH AN EROSION CONTROL PLAN WHICH DEMONSTRATES THAT OPENING OF ADDITIONAL AREAS WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT-LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET. TEMPORARY SEEDING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 7 DAYS SHALL BE SEED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING. TEMPORARY SEEDING AND MULCHING: SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH 8 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OR THE SEED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH. TEMPORARY GRASSING: THE SEEDER OR SEEDER AND MULCH AREAS SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED. PERMANENT EROSION CONTROL: EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE UTILITIES. PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS MINIMUM, BE SEED. THE SEEDING MIX MUST PROVIDE BOTH LONG-TERM VEGETATION AND RAPID GROWTH SEASONAL VEGETATION. SLOPES STEEPER THAN 4:1 SHALL BE SEED AND MULCHED OR SODDED. | | | | | | | | | | | | |
| <p style="text-align: center;">CONTROLS</p> <p>THIS PLAN UTILIZES BEST MANAGEMENT PRACTICES TO CONTROL EROSION AND TURBIDITY CAUSED BY STORMWATER RUNOFF. THE GRADING PLAN HAS BEEN PREPARED TO INSTRUCT THE CONTRACTOR ON PLACEMENT OF THESE CONTROLS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL AND MAINTAIN THE CONTROLS AS PER THE PLAN AS WELL AS ENSURING THE PLAN IS PROVIDING THE PROPER PROTECTION AS REQUIRED BY FEDERAL, STATE AND LOCAL LAWS. REFER TO "CONTRACTORS REQUIREMENTS" FOR A VERBAL DESCRIPTION OF THE CONTROLS THAT MAY BE IMPLEMENTED.</p> <p>AREAS WHICH ARE NOT DEVELOPED BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.</p> <p>REFER TO "CONTRACTORS REQUIREMENTS" FOR THE TIMING OF CONTROL MEASURES.</p> <p style="text-align: center;">CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS</p> <p>IN AN EFFORT TO ENSURE COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS REGARDING EROSION AND TURBIDITY CONTROLS, THE FOLLOWING PERMITS HAVE BEEN OBTAINED:</p> <p>D.E.P. DREDGE/FILL PERMIT # _____ C.O.E. DREDGE/FILL PERMIT # _____ S.J.R.V.M.D. M.S.S.W. PERMIT # _____</p> <p style="text-align: center;">POLLUTION PREVENTION PLAN CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION SUBMITTED IN, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.</p> <p>SIGNED: _____ TITLE: _____</p> <p style="text-align: center;">CORPORATE OFFICER, GENERAL PARTNER, PROPRIETOR, EXECUTIVE OFFICER, OR RANKING ELECTED OFFICIAL</p> <p>DATE: _____</p> | <p style="text-align: center;">STRUCTURAL PRACTICES</p> <ol style="list-style-type: none"> TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN A DRAINAGEWAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> THE SEDIMENT TRAP MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE VELOCITY OF FLOW AT DESIGN CAPACITY OF THE OUTLET WILL EXCEED THE PERMISSIBLE VELOCITY OF THE RECEIVING CHANNEL OR AREA. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,000 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,000 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT BASINS MUST BE REMOVED UPON FINAL STABILIZATION. <p style="text-align: center;">OTHER CONTROLS</p> <p>HAZARDOUS WASTE DISPOSAL</p> <p>ALL HAZARDOUS WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.</p> <p>HAZARDOUS WASTE</p> <p>ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> <p>SANITARY WASTE</p> <p>ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS AND SEPTIC SYSTEMS.</p> <p>OFFSITE VEHICLE TRACKING</p> <p>A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.</p> <p style="text-align: center;">INVENTORY FOR POLLUTION PREVENTION PLAN</p> <p>THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;">CONCRETE</td> <td style="width: 33%;">FERTILIZERS</td> <td style="width: 33%;">WOOD</td> </tr> <tr> <td>ASPHALT</td> <td>PETROLEUM BASED PRODUCTS</td> <td>MASONRY BLOCKS</td> </tr> <tr> <td>TAR</td> <td>CLEANING SOLVENTS</td> <td>ROOFING MATERIALS</td> </tr> <tr> <td>DETERGENTS</td> <td>PAINTS</td> <td>METAL STUDS</td> </tr> </table> <p style="text-align: center;">SPILL PREVENTION</p> <p>MATERIAL MANAGEMENT PRACTICES</p> <p>THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFFS.</p> <p>GOOD HOUSEKEEPING</p> <p>THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.</p> <ul style="list-style-type: none"> * AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. * ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE. * PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH ORIGINAL MANUFACTURER'S LABEL. * SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. * WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER. * MANUFACTURER'S RECOMMENDATION FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. * THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE MATERIALS ONSITE RECEIVE PROPER USE AND DISPOSAL. <p>HAZARDOUS PRODUCTS</p> <p>THESE PRACTICES ARE USED TO REDUCE THE RISK ASSOCIATED WITH HAZARDOUS MATERIALS.</p> <ul style="list-style-type: none"> * PRODUCT WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. * ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION. * IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED. <p>PRODUCT SPECIFIC PRACTICES</p> <p>THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:</p> <p>PETROLEUM PRODUCTS</p> <p>ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN SLIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.</p> <p>FERTILIZERS</p> <p>FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER, ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED AREA. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.</p> <p>PAINTS</p> <p>ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.</p> <p>CONCRETE TRUCKS</p> <p>CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.</p> | CONCRETE | FERTILIZERS | WOOD | ASPHALT | PETROLEUM BASED PRODUCTS | MASONRY BLOCKS | TAR | CLEANING SOLVENTS | ROOFING MATERIALS | DETERGENTS | PAINTS | METAL STUDS |
| CONCRETE | FERTILIZERS | WOOD | | | | | | | | | | | |
| ASPHALT | PETROLEUM BASED PRODUCTS | MASONRY BLOCKS | | | | | | | | | | | |
| TAR | CLEANING SOLVENTS | ROOFING MATERIALS | | | | | | | | | | | |
| DETERGENTS | PAINTS | METAL STUDS | | | | | | | | | | | |
| <p style="text-align: center;">CONTROLS</p> <p>AREAS WHICH ARE NOT DEVELOPED BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.</p> | <p style="text-align: center;">HAZARDOUS WASTE</p> <p>ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> | | | | | | | | | | | | |
| <p style="text-align: center;">CONTROLS</p> <p>AREAS WHICH ARE NOT DEVELOPED BUT WILL BE REGRADED SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.</p> | <p style="text-align: center;">HAZARDOUS WASTE</p> <p>ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> | | | | | | | | | | | | |

CONTRACTOR'S REQUIREMENTS

| | |
|--|---|
| <p style="text-align: center;">STRUCTURAL PRACTICES</p> <ol style="list-style-type: none"> TEMPORARY DIVERSION DIKE: TEMPORARY DIVERSION DIKES MAY BE USED TO DIVERT RUNOFF THROUGH A SEDIMENT-TRAPPING FACILITY. TEMPORARY SEDIMENT TRAP: A SEDIMENT TRAP IS USUALLY INSTALLED IN A DRAINAGEWAY AT A STORM DRAIN INLET OR AT OTHER POINTS OF DISCHARGE FROM A DISTURBED AREA WITH THE FOLLOWING LIMITATIONS: <ol style="list-style-type: none"> THE SEDIMENT TRAP MAY BE CONSTRUCTED EITHER INDEPENDENTLY OR IN CONJUNCTION WITH A TEMPORARY DIVERSION DIKE. OUTLET PROTECTION: APPLICABLE TO THE OUTLETS OF ALL PIPES AND PAVED CHANNEL SECTIONS WHERE THE VELOCITY OF FLOW AT DESIGN CAPACITY OF THE OUTLET WILL EXCEED THE PERMISSIBLE VELOCITY OF THE RECEIVING CHANNEL OR AREA. SEDIMENT BASIN: WILL BE CONSTRUCTED AT THE COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME. THE PROPOSED STORM WATER PONDS (OR TEMPORARY PONDS) WILL BE CONSTRUCTED FOR USE AS SEDIMENT BASINS. THESE SEDIMENT BASINS MUST PROVIDE A MINIMUM OF 3,000 CUBIC FEET OF STORAGE PER ACRE DRAINED UNTIL FINAL STABILIZATION OF THE SITE. THE 3,000 CUBIC FEET OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH DISTURBED AREA AND THE SEDIMENT BASIN. ANY TEMPORARY SEDIMENT BASINS CONSTRUCTED MUST BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL FILL. ALL SEDIMENT COLLECTED IN PERMANENT OR TEMPORARY SEDIMENT BASINS MUST BE REMOVED UPON FINAL STABILIZATION. <p style="text-align: center;">OTHER CONTROLS</p> <p>HAZARDOUS WASTE DISPOSAL</p> <p>ALL HAZARDOUS WASTE MATERIALS EXCEPT LAND CLEARING DEBRIS SHALL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED AS NEEDED AND THE TRASH WILL HAULED TO A STATE APPROVED LANDFILL. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION SITE BY THE CONSTRUCTION SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.</p> <p>HAZARDOUS WASTE</p> <p>ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> <p>SANITARY WASTE</p> <p>ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NEEDED TO PREVENT POSSIBLE SPILLAGE. THE WASTE WILL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL WASTE DISPOSAL REGULATIONS AND SEPTIC SYSTEMS.</p> <p>OFFSITE VEHICLE TRACKING</p> <p>A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.</p> | <p style="text-align: center;">SPILL CONTROL PRACTICES</p> <p>IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:</p> <p>MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED ON SITE AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.</p> <p>MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOOGLES, LIQUID ABSORBENT (i.e. KITTY LITTER OR EQUAL), SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.</p> <p>ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.</p> <p>THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.</p> <p>SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.</p> <p>THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.</p> <p>THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE AT LEAST ONE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IF APPLICABLE, IN THE OFFICE TRAILER ONSITE.</p> <p style="text-align: center;">MAINTENANCE/INSPECTION PROCEDURES</p> <p>EROSION AND SEDIMENT CONTROL MAINTENANCE AND INSPECTION PRACTICES</p> <p>THE FOLLOWING ARE MAINTENANCE AND INSPECTION PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.</p> <ul style="list-style-type: none"> * NO MORE THAN 10 ACRES OF THE SITE WILL BE DENURED AT ONE TIME WITHOUT WRITTEN PERMISSION FROM THE ENGINEER. * ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT. AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.50 INCHES O GREATER. * BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE. * SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. * THE SEDIMENT BASINS WILL BE INSPECTED FOR THE DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB. * DIVERSION DIKES/SWALES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED. * TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH. * A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM SHALL BE COMPLETED BY THE INSPECTOR. THE REPORTS WILL BE KEPT ONSITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORM WATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED. THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE. <p>NON-STORM WATER DISCHARGES</p> <p>IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING CONSTRUCTION PERIOD:</p> <ul style="list-style-type: none"> * WATER FROM WATER LINE FLUSHING * PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED) * UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION) <p style="text-align: center;">CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p> <p style="text-align: center;">DEWATERING</p> <p>PRIOR TO ANY DISCHARGE OF GROUND WATER (DEWATERING) FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT TO WATERS OF THE STATE (INCLUDING, BUT NOT LIMITED TO, WETLANDS, SWALES AND MUNICIPAL STORM SEWERS), THE CONTRACTOR SHALL TEST THE EFFLUENT (WATER TO BE DISCHARGED) IN ACCORDANCE WITH RULE 62-621.300(2), F.A.C. IF THE TEST RESULTS ON THE EFFLUENT ARE BELOW THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL SUBMIT A SUMMARY OF THE ENVIRONMENTAL CONSTRUCTION ACTIVITY AND THE TEST RESULTS TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT OFFICE. WITHIN ONE (1) WEEK AFTER DISCHARGE BEGINS, THE CONTRACTOR SHALL CONTINUE TO SAMPLE THE EFFLUENT AS REQUIRED THROUGHOUT THE PROJECT AND COMPLY WITH ALL CONDITIONS OF RULE 62-621.300(2), F.A.C. IF THE GROUND WATER EXCEEDS THE SCREENING VALUES OF RULE 62-621.300(2), F.A.C., THE CONTRACTOR SHALL COMPLY WITH OTHER APPLICABLE RULES AND REGULATIONS PRIOR TO DISCHARGE OF THE EFFLUENT (GROUND WATER) TO SURFACE WATERS OF THE STATE.</p> |
| <p style="text-align: center;">HAZARDOUS WASTE</p> <p>ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> | <p style="text-align: center;">CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p> |
| <p style="text-align: center;">HAZARDOUS WASTE</p> <p>ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE SITE SUPERINTENDENT, THE INDIVIDUAL WHO MANAGES DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.</p> | <p style="text-align: center;">CONTRACTOR'S CERTIFICATION</p> <p>I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.</p> |

| SIGNATURE | BUSINESS NAME AND ADDRESS OF CONTRACTOR & ALL SUBS | RESPONSIBLE FOR/DUTIES |
|-----------|--|------------------------|
| | | GENERAL CONTRACTOR |
| | | SUB-CONTRACTOR |
| | | SUB-CONTRACTOR |
| | | SUB-CONTRACTOR |

Digitally signed by John P. Grady Date: 2024.03.04 15:59:30 -05'00'

BH&H ARCHITECTS, P.A.
1329 KINGSLY AVE., SUITE C
ORANGE PARK, FL 32075
PH: (904) 264-1919
WWW.BH&H-ARCH.COM
LIC. NO. AR0011549

| DATE | REVISIONS |
|------------|-----------|
| 03/04/2024 | |
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| | |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS

NORTH BEACH PARK RENOVATION

3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Digitally signed by John P. Grady Date: 2024.03.04 15:59:30 -05'00'

STRUCTURES INTERNATIONAL, LLC
575 COLUMBIA INTERNATIONAL
1715 HIGHLAND BLVD., SUITE 200
INDIANAPOLIS, IN 46203
(317) 631-2222

STORMWATER POLLUTION PREVENTION PLAN

| | |
|---------|------------|
| DATE | 03/04/2024 |
| D.B. | JJB |
| C.B. | JPG |
| JOB NO. | 202224 |

C31

THIS FORM HAS BEEN DIGITALLY SIGNED AND SIGNED BY THE ENGINEER ON THE DATE NOTED ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT: _____

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

TO BE COMPLETED EVERY 7 DAYS AND WITHIN 24 HOURS OF
A RAINFALL EVENT OF 0.25 INCHES OR MORE

INSPECTOR: _____ DATE: _____

INSPECTOR'S QUALIFICATIONS

DAYS SINCE LAST RAINFALL: _____ AMOUNT OF LAST RAINFALL: _____ INCHES

STABILIZATION MEASURES

| INSPECTION AREA (DESCRIPTION OF LOCATION) | DATE SINCE LAST DISTURBED | DATE OF NEXT DISTURBANCE | STABILIZED WITH (TREATING) | STABILIZED WITH | CONDITION |
|---|---------------------------------|--------------------------------|-------------------------------|-----------------|-----------|
| | | | | | |
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| | | | | | |
| | | | | | |

STABILIZATION REQUIRED _____

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 1 OF 4

PROJECT: _____

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

STRUCTURAL CONTROLS

DATE: _____

EARTH DIKES/SWALES

| DIKE OR SWALE | FROM | TO | IS DIKE/SWALE STABILIZED ? | IS THERE EVIDENCE OF TRENCHES OR OVERTOPPING |
|------------------|------|----|-------------------------------|--|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

MAINTENANCE REQUIRED FOR EARTH DIKES/SWALES:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

CATCH BASIN/CURB INLET/OUTFALL TURBIDITY CONTROLS

| STRUCTURE/ OUTFALL | ARE TURBIDITY CONTROLS IN PLACE | ANY EVIDENCE OF CLOGGING/WASHOUT OR BYPASSING ? | ARE TURBIDITY CONTROLS IN NEED OF REPLACING | DOES SILT NEED TO BE REMOVED FROM AROUND CONTROL |
|-----------------------|---------------------------------------|---|---|--|
| | | | | |
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MAINTENANCE REQUIRED FOR CATCH BASIN/CURB INLET/OUTFALLS TURBIDITY CONTROLS:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 2 OF 4

PROJECT: _____

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

SEDIMENT BASIN

| DEPTH OF SEDIMENT IN BASIN | DEPTH OF SEDIMENT SIDE BASIN | ANY EVIDENCE OF OVERTOPPING OF THE EMBANKMENT ? | CONDITION OF OUTFALL FROM SEDIMENT BASIN |
|-------------------------------|---------------------------------|---|---|
| | | | |
| | | | |
| | | | |

MAINTENANCE REQUIRED FOR SEDIMENT BASIN:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

OTHER CONTROLS

STABILIZED CONSTRUCTION ENTRANCE

| DOES MUCH SEDIMENT GET TRACKED ON TO ROAD ? | IS THE GRAVEL CLEAN OR IS IT FILLED WITH SEDIMENT? | DOES ALL TRAFFIC USE THE ENTRANCE TO LEAVE THE SITE ? | IS THE CULVERT BENEATH THE ENTRANCE WORKING? (IF APPLICABLE) |
|--|---|--|--|
| | | | |
| | | | |

MAINTENANCE REQUIRED FOR STABILIZED CONSTRUCTION ENTRANCE:

TO BE PERFORMED BY: _____ ON OR BEFORE: _____

PAGE 3 OF 4

PROJECT: _____

STORM WATER POLLUTION PREVENTION PLAN
INSPECTION AND MAINTENANCE REPORT FORM

CHANGES REQUIRED TO THE POLLUTION PREVENTION PLAN:

REASONS FOR CHANGES:

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL
ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN
ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED
PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION
SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO
MANAGE THE SYSTEM OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR
SUBMITTING IT TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE,
ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT
PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE
POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNATURE: _____
DATE: _____

PAGE 4 OF 4

NOTE TO CONTRACTOR:

THIS IS THE CONTRACTORS CERTIFICATION REQUIRED BY THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), STORM WATER POLLUTION PREVENTION PLAN FOR CONSTRUCTION SITES OVER 5 ACRES. THIS CERTIFICATION MUST BE COMPLETED WEEKLY AND AFTER EVERY RAINFALL EVENT OVER 0.25 INCHES. IT IS SUGGESTED THAT THIS SHEET BE REMOVED FROM THE PLAN SET AND DUPLICATED AS NEEDED BY THE CONTRACTOR.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND
ISSUED BY THE ENGINEER ON THE DATE NOTED
ABOVE. PRINTED COPIES OF THIS DOCUMENT
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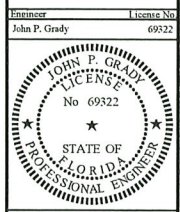


| STN | REVISIONS DESCRIPTION | DATE |
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| | REVISED PER SJC COMMENTS | 03/04/2024 |
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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS

NORTH BEACH PARK RENOVATION

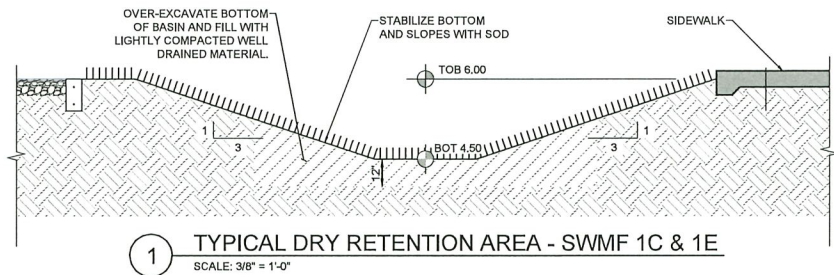
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084



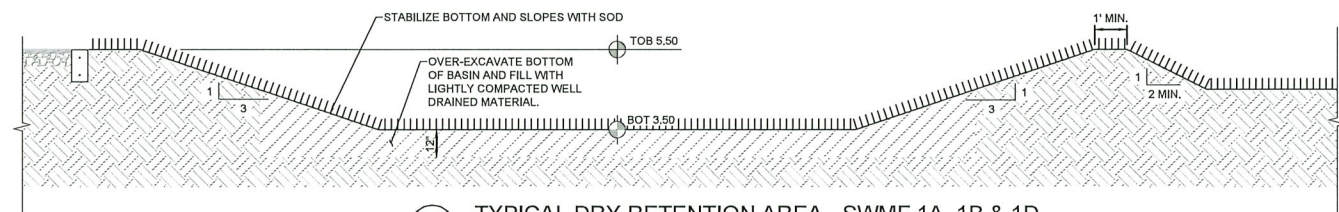
SWPPP
CONTRACTOR'S
CERTIFICATION
FORMS

DATE: 03/04/2024
BY: AJB
C.B.: JFC
JOB NO.: 202224

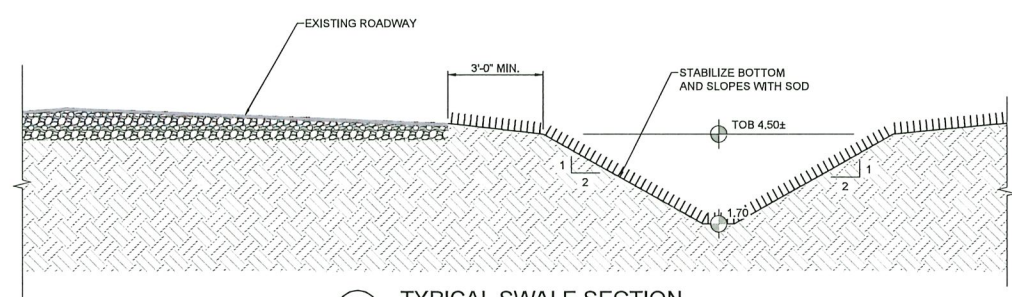
C32



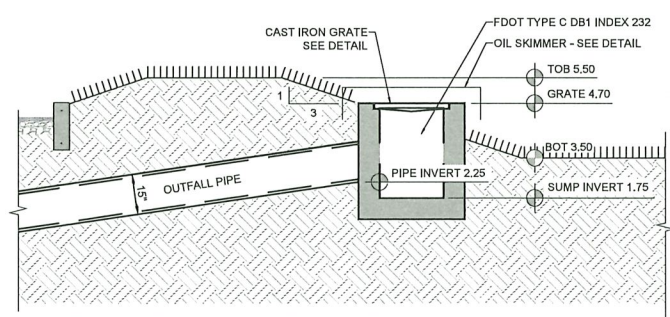
1 TYPICAL DRY RETENTION AREA - SWMF 1C & 1E
SCALE: 3/8" = 1'-0"



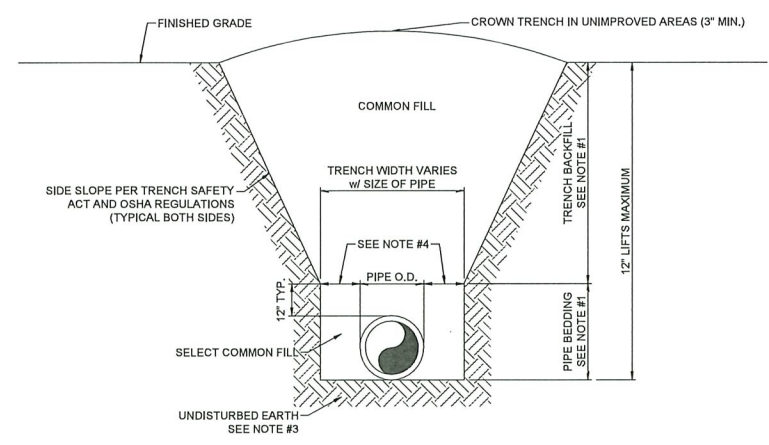
2 TYPICAL DRY RETENTION AREA - SWMF 1A, 1B & 1D
SCALE: 3/8" = 1'-0"



4 TYPICAL SWALE SECTION
SCALE: 3/8" = 1'-0"

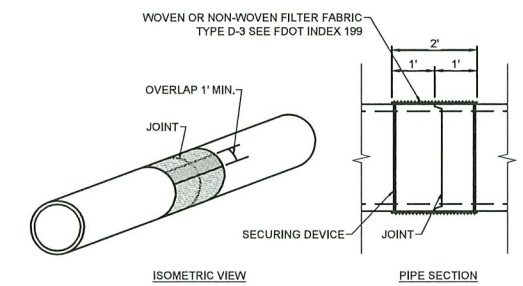


5 OUTFALL CONTROL STRUCTURE DETAIL
SCALE: 3/8" = 1'-0"



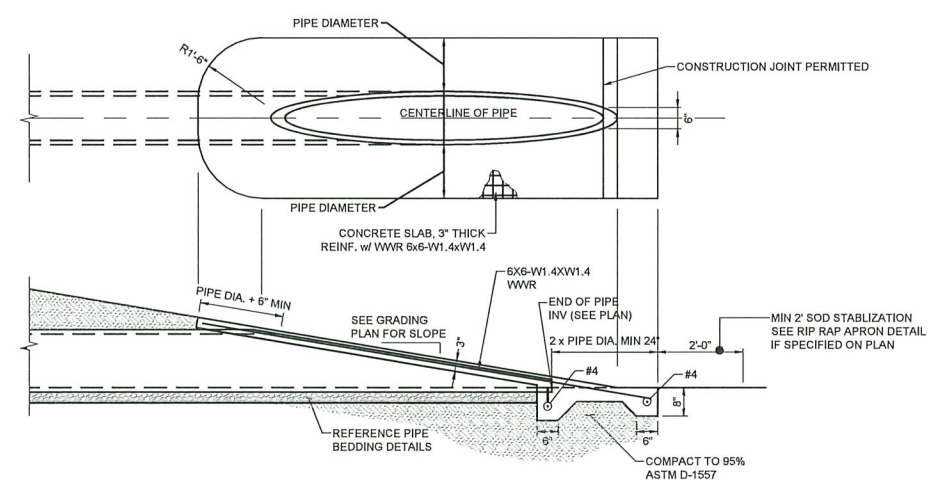
- NOTES:
- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE COUNTY.
 - 15" MAXIMUM FOR PIPE DIAMETER LESS THAN 24" AND 24" MAXIMUM FOR PIPE DIAMETER 24" OR LARGER.
 - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - FINAL RESTORATION IN IMPROVED AREA SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATION OF THE GOVERNING AGENCIES SURFACE RESTORATION WITHIN COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENT OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATION.

3 TYPE B PIPE BEDDING AND TRENCH DETAIL
NOT TO SCALE

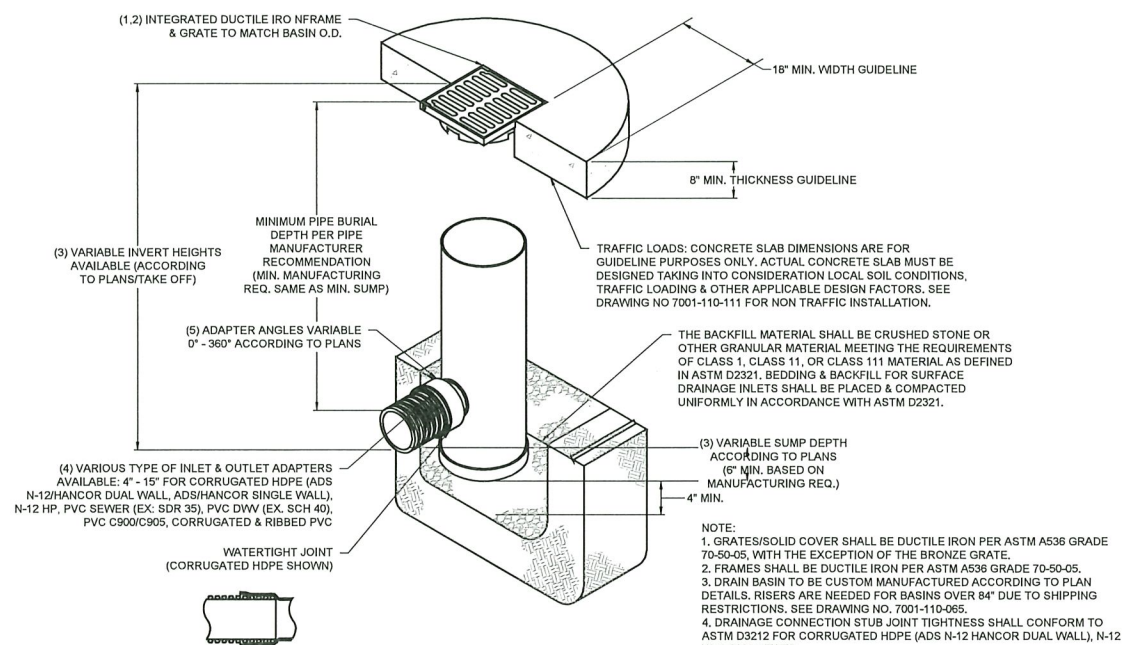


- NOTES:
- ALL DRAINAGE PIPE TO BE WRAPPED AT JOINTS.
 - COST OF FILTER FABRIC JACKET TO BE INCLUDED IN COST OF PIPE CULVERTS.

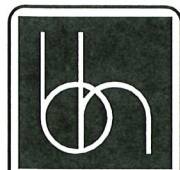
6 FILTER FABRIC JACKET
NOT TO SCALE



7 CAST-IN-PLACE MITERED END SECTION
NOT TO SCALE



8 NYLOPLAST DRAIN BASIN
NOT TO SCALE



BHIDE & HALL
ARCHITECTS, P.A.
1329 KINGSLEY AVE., SUITE C
ORANGE PARK, FL 32073
PH: (904) 264-1919
WWW.BHIDE-HALL.COM
LIC. NO. AR0011549

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ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Designer: John P. Grady License No: 69322



John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 15:59:53 -05'00'

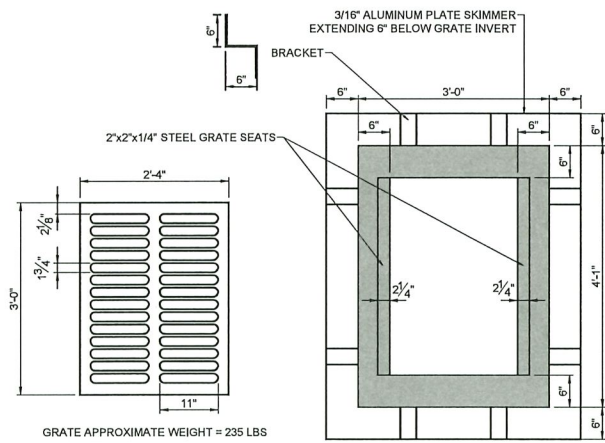
STRUCTURES INTERNATIONAL, LLC
STRUCTURES INTERNATIONAL, LLC
1702 HIGHLAND AVENUE, SUITE 100
KNOXVILLE, TN 37912
(615) 596-1234

GRADING & DRAINAGE DETAILS

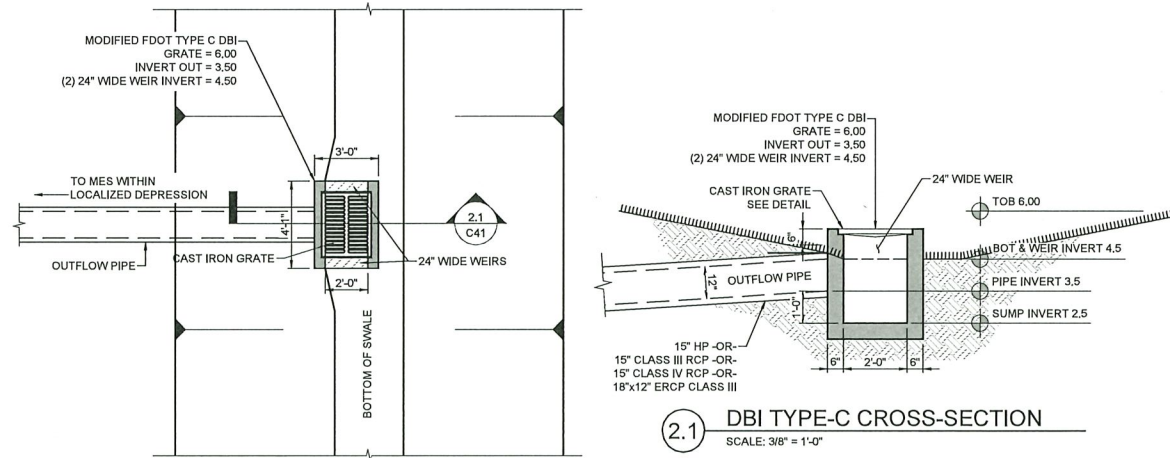
| DATE | 03/04/2024 |
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| D.B. | AJB |
| C.B. | JPG |
| JOB NO. | 20224 |

C40

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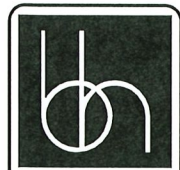


1 TYPE-C INLET GRATE & OIL SKIMMER DETAIL
SCALE: 3/8" = 1'-0"



2 MODIFIED TYPE-C DITCH BOTTOM INLET
SCALE: 1/4" = 1'-0"

2.1 DBI TYPE-C CROSS-SECTION
SCALE: 3/8" = 1'-0"



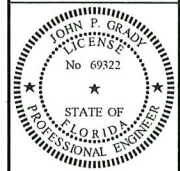
**BHIDE & HALL
ARCHITECTS, P.A.**
1329 KINGSLEY AVE., SUITE C
ORANGE PARK, FL 32073
PH: (904) 264-1919
WWW.BHIDE-HALL.COM
LIC. NO. AR0011549

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| | DESCRIPTION | |
| | REVISED PER SJC COMMENTS | 03/04/2024 |

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
3721 COASTAL HIGHWAY
ST. AUGUSTINE, FL 32084

Engineer: John P. Grady License No: 69322

John P. Grady
Digitally signed by John P. Grady
Date: 2024.03.04 16:00:18 -05'00'



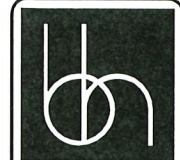
STRUCTURES INTERNATIONAL, LLC
STRUCTURES INTERNATIONAL, LLC
7700 UNIVERSITY BLVD., SUITE 100
ORLANDO, FLORIDA 32817
(407) 253-1234

GRADING & DRAINAGE DETAILS

| | |
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| DATE | 03/04/2024 |
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C41

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 1329 KINGSLEY AVE., SUITE C
 ORANGE PARK, FL 32073
 PH: (904) 264-1919
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 LIC. NO. AR0011549

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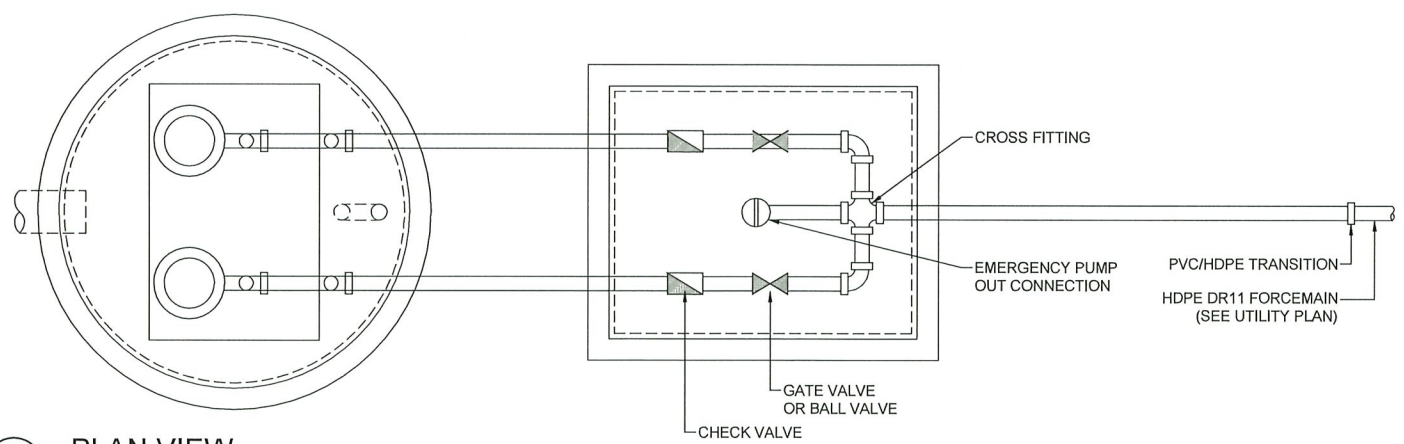
ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS
NORTH BEACH PARK RENOVATION
 3721 COASTAL HIGHWAY
 ST. AUGUSTINE, FL 32084

Engineer License No. 69322
 John P. Grady
 Digitally signed by John P. Grady
 Date: 2024.03.04 16:00:44 -05'00'

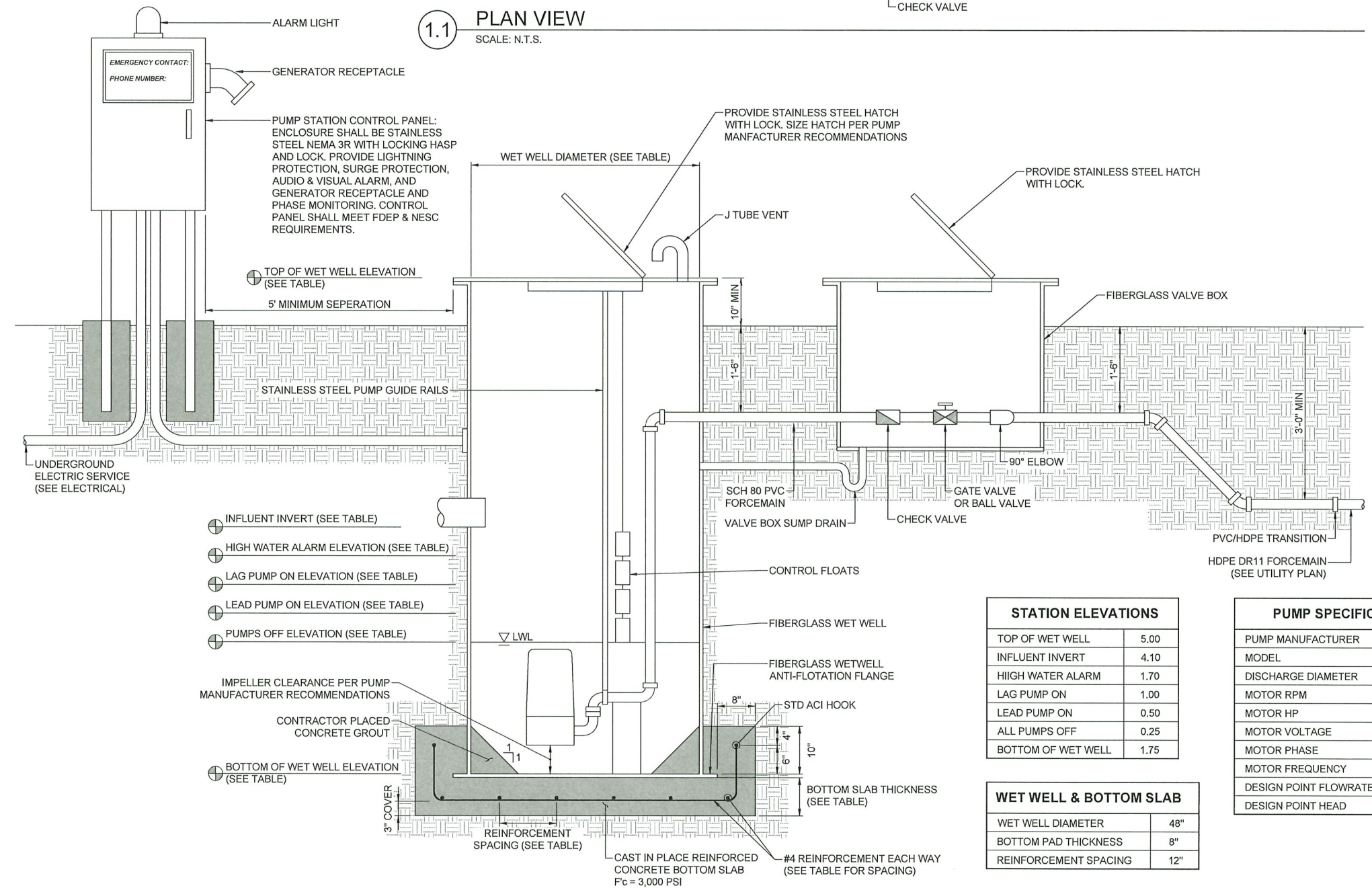


| UTILITY DETAILS | |
|-----------------|------------|
| DATE | 03/04/2024 |
| D.B. | AJJ |
| C.B. | JPG |
| JOB NO. | 202224 |

C50



1.1 PLAN VIEW
 SCALE: N.T.S.



1 DUPLEX SEWAGE GRINDER PUMP STATION (SECTION)
 SCALE: N.T.S.

| STATION ELEVATIONS | |
|--------------------|------|
| TOP OF WET WELL | 5.00 |
| INFLUENT INVERT | 4.10 |
| HIGH WATER ALARM | 1.70 |
| LAG PUMP ON | 1.00 |
| LEAD PUMP ON | 0.50 |
| ALL PUMPS OFF | 0.25 |
| BOTTOM OF WET WELL | 1.75 |

| PUMP SPECIFICATION | |
|-----------------------|-----------|
| PUMP MANUFACTURER | LIBERTY |
| MODEL | LSG200 |
| DISCHARGE DIAMETER | 1-1/4" |
| MOTOR RPM | 3450 |
| MOTOR HP | 2 |
| MOTOR VOLTAGE | 230 |
| MOTOR PHASE | SINGLE |
| MOTOR FREQUENCY | 60 HZ |
| DESIGN POINT FLOWRATE | 45 GPM |
| DESIGN POINT HEAD | 57 FT TDH |

| WET WELL & BOTTOM SLAB | |
|------------------------|-----|
| WET WELL DIAMETER | 48" |
| BOTTOM PAD THICKNESS | 8" |
| REINFORCEMENT SPACING | 12" |

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ST. JOHNS COUNTY UTILITY DEPARTMENT (SJCUD) GENERAL NOTES

GENERAL:

- WHERE THESE NOTES CONFLICT WITH THE SPECIFICATIONS IN PART III OF THE MANUAL, PART III GOVERNS.
- TWO (2) COPIES OF THE SHOP DRAWINGS FOR MATERIALS NOT IN THE APPROVED MATERIALS MANUAL (STAMPED APPROVED BY THE ENGINEER) SHALL BE SUBMITTED TO SJCUD FOR REVIEW PRIOR TO SCHEDULING THE MANDATORY PRE-CONSTRUCTION CONFERENCE. THE INITIAL SHOP DRAWING REVIEW BY SJCUD WILL BE COMPLETED WITHIN FIFTEEN (15) BUSINESS DAYS. SUBSEQUENT SHOP DRAWING REVIEWS WILL BE COMPLETED WITHIN TEN (10) BUSINESS DAYS.
- A PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH THE DEVELOPER, THE ENGINEER OF RECORD, THE UTILITY CONTRACTOR, AND THE SJCUD PRIOR TO THE START OF ANY CONSTRUCTION. A PRE-CONSTRUCTION CONFERENCE WITH SJCUD IS REQUIRED REGARDLESS OF OTHER AGENCIES REQUIREMENTS.
- ALL WATER, SEWER, AND/OR REUSE CONSTRUCTION SHALL BE PERFORMED BY A CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES. A COPY OF THE CONTRACTOR'S GENERAL LICENSE AND/OR UNDERGROUND UTILITY LICENSE SHALL BE PROVIDED AT THE PRE-CONSTRUCTION CONFERENCE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL LOCATIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR(S) SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UTILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES AND TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE AFFECTED UTILITY COMPANY, ENGINEER OF RECORD, COUNTY, AND SJCUD.
- THE WATER, SEWER, AND/OR REUSE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SJCUD APPROVED CONSTRUCTION DRAWINGS AND SPECIFICATIONS. IF THERE IS ANY DEVIATION FROM THE APPROVED CONSTRUCTION DRAWINGS OR SPECIFICATIONS, WITHOUT PRIOR AUTHORIZATION AND CONSENT FROM THE SJCUD, THE CONTRACTOR SHALL REMOVE THE DEVIATION AND RESTORE IT TO THE APPROVED CONSTRUCTION DRAWING CONFIGURATION AT NO EXPENSE TO THE SJCUD. ANY DEVIATION FROM THE APPROVED DOCUMENTS WILL DELAY THE COC SUBMITTAL PROCESS.
- THE CONTRACTOR SHALL FIELD VERIFY THE CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD AND SJCUD IMMEDIATELY.
- EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED PER AVAILABLE MEANS WITHOUT EXCAVATION.
- VERTICAL LOCATIONS OF ALL UTILITIES (EXCLUDING EXISTING STORM SEWERS) SHOWN ON PLAN AND PROFILE SHEETS HAVE BEEN REFERENCED TO A BENCH MARK SHOWN ON THE UTILITY PLANS. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGINEER IF LOCATION DIFFERS FROM THAT SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION.
- SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SJCUD PRIOR TO CONTINUING CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION. THE CONTRACTOR SHALL RESTORE/REPLACE, AT NO ADDITIONAL EXPENSE TO THE OWNER, ANY DAMAGE DONE BY CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS. ANY DAMAGE SHALL BE REPLACED/REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND BUILDING PLACEMENT WITH ALL OTHER UTILITIES CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY UNSUITABLE MATERIAL FROM HIS OPERATION. FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- UNSUITABLE MATERIALS UNDER WATER, SEWER, AND/OR REUSE MAINS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL PROPERLY COMPACTED TO 95% OF MAXIMUM DENSITY. BACKFILL SHALL BE COMPACTED IN A MAXIMUM OF ONE-FOOT (1) LIFTS. DENSITY TESTS SHALL BE TAKEN AFTER COMPACTION OF EVERY LIFT.
- THE CONTRACTOR(S) SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, THE ENGINEER OF RECORD, AND THE PROPERTY OWNER 72 HOURS PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITY COMPANIES AND THE PERMITS OBTAINED FOR THE WORK.
- THE ENGINEER OF RECORD AND SJCUD SHALL BE GIVEN FIVE (5) BUSINESS DAYS NOTICE OF ALL REQUESTED MEETINGS AND/OR TESTING MEASURES RELATED TO THE PROJECT.
- ALL WORK, MATERIALS, AND EQUIPMENT SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELEVANT ST. JOHNS COUNTY STANDARDS AND REQUIREMENTS AS WELL AS STATE AND LOCAL REGULATIONS.
- ALL UNDERGROUND UTILITY EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE MANUAL OF WATER, WASTEWATER, AND REUSE DESIGN STANDARDS & SPECIFICATIONS. ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, AND THE APPROVED SITE PLANS.
- ALL UTILITY CROSSINGS SHALL COMPLY WITH FDEP REGULATIONS (CH. 62-555.314, FAC)
- ANY LANDSCAPING TREES SHALL BE PLACED A MINIMUM OF 7.5 FEET AWAY FROM THE EDGE OF PIPELINE TO THE TREE CENTERLINE.
- ALL ROCK AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA AND ST. JOHNS COUNTY UTILITIES STANDARDS AND/OR PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES FOR NEW AND RELOCATED PIPE SHALL BE REMOVED TO DEPTH OF AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE. CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED FOR NEW AND RELOCATED PIPES. THE BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE NEW AND RELOCATED PIPES AND TO A SUFFICIENT HEIGHT ABOVE SUCH PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE.

- FOR WATER, WASTEWATER, AND RECLAIMED MAINS SMALLER THAN 16 INCHES, THE MINIMUM AND MAXIMUM COVER SHALL BE 30 INCHES AND 36 INCHES, RESPECTIVELY, IN UNPAVED AREAS AND 36 INCHES AND 42 INCHES, RESPECTIVELY, IN PAVED AREAS, OR AS REQUIRED WITHIN FDOT OR RAILROAD RIGHTS-OF-WAY. FOR MAINS 12 INCHES OR GREATER, THE MINIMUM AND MAXIMUM COVER SHALL BE 42 INCHES AND 54 INCHES, RESPECTIVELY. EXCEPTIONS WILL BE MADE FOR CONFLICTS.
- WHERE FORCEMAINS, WATERMAINS, OR RECLAIMED WATERMAINS ARE LAID WITHOUT FITTINGS, THE MAXIMUM DEFLECTION SHALL BE 80% OF THAT RECOMMENDED BY THE MANUFACTURER.
- FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER. ALL FITTINGS SHALL BE RESTRAINED PER THE RESTRAINED JOINT TABLE IN THE APPROVED PLAN SET.
- ALL UNDERGROUND VALVES SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH TOP SET TO FINAL GRADE IN ACCORDANCE WITH SJCUD DETAILS AND SPECIFICATIONS. ALL VALVES SHALL HAVE LOCATE MARKERS.
- CONTRACTOR IS RESPONSIBLE FOR PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF SEVEN (7) BUSINESS DAYS NOTICE TO SJCUD PRIOR TO SCHEDULING THE FINAL INSPECTION.

NOTICE OF PROCEDURE:

- ALL COMMERCIAL BUILDING PERMITS AND METERS PROCESSED THROUGH SJCUD CUSTOMER SERVICE SHALL BE ACCOMPANIED BY A SET OF APPROVED CIVIL DESIGN PLANS.
- ALL CONNECTIONS TO THE WATER, SEWER, AND/OR REUSE SYSTEM, FLUSHING, AND PRESSURE TESTS TO BE PERFORMED BY THE UTILITY CONTRACTOR OR LICENSED MASTER PLUMBER MUST BE SCHEDULED AT LEAST FIVE (5) WORKING DAYS IN ADVANCE WITH THE SJCUD. A SJCUD INSPECTOR MUST BE PRESENT PRIOR TO THE CONNECTION BEING MADE OR TESTING.
- IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO SECURE APPLICABLE PERMITS PRIOR TO CONSTRUCTION.
- THE PROPERTY OWNER SHALL PURCHASE THE WATER METER THROUGH THE SJCUD ON PROJECTS THAT REQUIRE A WATER METER LARGER THAN ONE (1) INCH. THE OWNER'S CONTRACTOR SHALL INSTALL ALL METERS THREE (3) INCHES AND LARGER.
- WATER, SEWER, AND/OR REUSE UNIT CONNECTION FEES SHALL BE PAID IN FULL AT THE TIME OF BUILDING PERMIT APPLICATION.
- ALL ON-SITE PRIVATE WATER, SEWER, AND/OR REUSE CONSTRUCTION BETWEEN THE METER AND BUILDING MAY BE INSPECTED BY THE SJCUD TO ENSURE STANDARDS ARE MET.
- ALL REQUIREMENTS BY THE SJCUD (I.E. FINAL INSPECTION, CORRECTION OF PUNCH LIST ITEMS, "AS BUILTS" FDEP CERTIFICATION OF COMPLETION, ETC) MUST BE SATISFIED PRIOR OF ISSUANCE OF CERTIFICATES OF OCCUPANCY.

PRESSURE PIPE NOTES:

- POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 4" THROUGH 12" DIAMETER SHALL BE DR18, C900 PVC, WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS, DR11, C906 HDPE OR DR18, C900 FUSIBLE PVC (FPVC). POTABLE AND RECLAIMED WATERMAINS 4" THROUGH 12" DIAMETER SHALL BE DIP CLASS 350 WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. FUSIBLE PVC SHALL NOT BE USED FOR HDD.
- POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 16" THROUGH 36" DIAMETER SHALL BE DR25, C905 PVC WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS OR DR11, C906 HDPE OR DR25, C905 FPVC. POTABLE AND RECLAIMED WATERMAINS 16" THROUGH 36" DIAMETER SHALL BE DIP CLASS 250 WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. FUSIBLE PVC SHALL NOT BE USED FOR HDD.
- POTABLE AND RECLAIMED WATERMAINS LARGER THAN 36" DIAMETER SHALL BE DIP CLASS 250.
- HDD UP TO 36" DIAMETER AND LESS THAN 300 FEET SHALL BE DR11, C906 HDPE. HDD UP TO 24" DIAMETER AND LONGER THAN 300 FEET SHALL BE DR9, C906 HDPE.
- 2" POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS SHALL BE DR9, HDPE (CTS).
- PIPE SHALL BE APPROPRIATELY COLOR CODED: BLUE-POTABLE WATER, GREEN-SEWER, AND PURPLE-RECLAIMED WATER.

POTABLE WATER SYSTEMS NOTES:

- ALL CURB STOPS ARE TO BE BALL-TYPE WITH LOCKING CAPACITY, 1" MINIMUM.
- A FULL UNCUPT LENGTH OF WATERMAIN PIPE (USUALLY 20 FEET) SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL WATER AND SEWER (INCLUDING STORM) LINES AT THE POINT OF CROSSINGS REGARDLESS OF THE VERTICAL SEPARATIONS.
- WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH THE APPROVAL OF THE ST. JOHNS COUNTY HEALTH DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED CONTAMINATION.
- NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE BY FDEP AND ACCEPTED FOR MAINTENANCE BY THE SJCUD.
- JUMPER CONNECTIONS WITH BACKFLOW PREVENTION DEVICE SHALL BE USED TO FILL OR FLUSH WATERMAINS
- ALL NEW AND RELOCATED WATERMAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND SJCUD STANDARDS.
- ALL NEW AND RELOCATED WATERMAIN PIPE AND FITTINGS WILL COMPLY WITH THE LATEST FDEP AND AWWA STANDARDS FOR LEAD CONTENT.

- ALL NEW AND RELOCATED WATERMAINS SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C605, LATEST EDITION.
- ALL NEW AND RELOCATED WATERMAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 62-555.340, F.A.C.
- ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE AND SJCUD STANDARDS.
- THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED ON THE AS BUILT DRAWINGS. THE SAMPLE POINT NUMBERING AND STATIONING SHALL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE CHAIN OF CUSTODY FORMS.

WASTEWATER SYSTEM NOTES:

- AN APPROVED INTERIOR LINER IS REQUIRED ON RECEIVING MANHOLES, PUMP STATION WETWELLS AND MANHOLES WITH THREE OR MORE INVERTS.
- SANITARY SEWER LINES SHALL BE GREEN, SDR26 PIPE, AND CLEARLY MARKED ON THE PIPE.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD AND SJCUD ALL VIDEO LOGS, WRITTEN REPORTS, AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL CONTACT SJCUD PRE-TREATMENT DEPARTMENT AT (904) 209-2663 FOR INSPECTION AFTER INSTALLATION OF GREASE TRAPS, INTERCEPTORS, AND/OR OIL-WATER SEPARATORS.

AS-BUILTS:

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FROM JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
- "AS-BUILT" INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE UP TO SIX COPIES AND THE CAD FILE OF AS-BUILT DRAWINGS TO THE ENGINEER.
- A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE FINAL INSPECTION, TWO (2) SETS OF PRELIMINARY BLACKLINE "AS-BUILTS" AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
- THE RECORD OR "AS BUILT" DRAWINGS TO BE PREPARED BY THE CONTRACTOR AND SUBMITTED AT THE TIME OF THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE WILL CLEARLY DEPICT THE VERTICAL CLEARANCES BETWEEN WATER, SEWER (INCLUDING STORM) AND REUSE LINES AT ALL CROSSING AND PARALLEL RUNS WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET. IN ADDITION, THE CENTERING OF UNCUPT LENGTHS OF PIPE (USUALLY 20 FEET) AT POINTS OF CROSSINGS WILL BE DOCUMENTED ON THE DRAWINGS AND ALL MITIGATING CONSTRUCTION MEASURES CLEARLY DEPICTED IN CASES WHERE A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE BETWEEN THE WATER AND SEWER (INCLUDING STORM) LINES IS NOT POSSIBLE.
- AFTER SJCUD HAS APPROVED PRELIMINARY "AS BUILT", THREE (3) SETS OF BLACKLINE AS-BUILTS (SIGNED AND SEALED) AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO SJCUD THROUGH ST. JOHNS COUNTY DEVELOPMENT SERVICES.

STANDARD WATER/ SEWER/ RECLAIMED WATER SEPARATION STATEMENT:

- THE CONTRACTOR SHALL INSTALL ALL MAINS IN ACCORDANCE WITH THE REQUIREMENTS OF RULE 62-555.314, FAC. BELOW, THE CONTRACTOR SHALL NOTIFY SJCUD IN ANY INSTANCES WHERE THE BELOW REQUIREMENTS CANNOT BE MET PRIOR TO INSTALLATION OF PIPE.
- 62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS.
 FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATERMAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.
- (1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
 - (A) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-610, F.A.C.
 - (B) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 - (C) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATERMAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATERMAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
 - (D) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.
 - (2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, AND RECLAIMED WATER PIPELINES.

(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(B) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATERMAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATERMAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-610, F.A.C.

(3.) SEPARATION BETWEEN WATERMAINS AND SANITARY OR STORM SEWER MANHOLES.

(A) NO WATERMAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SEWER OR STORMWATER MANHOLE.

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(5) EXCEPTIONS. WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION AND PROVIDE ALTERNATIVE CONSTRUCTION FEATURES THAT AFFORD A SIMILAR LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION. ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:

(A) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATERMAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:

1. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE;

2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE; OR

3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE.

(B) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:

1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND

2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER."

HYDROSTATIC TESTING NOTES:

- AFTER ALL PRESSURE PIPES ARE INSTALLED, THE JOINTS COMPLETED, AND THE TRENCH BACKFILLED, THE NEWLY LAID PIPE AND APPURTENANCES SHALL BE SUBJECTED TO A HYDROSTATIC TEST FOR A PERIOD OF AT LEAST TWO (2) HOURS. THE ENGINEER AND THE SJCUD MUST BE NOTIFIED AT LEAST 72 HOURS BEFORE A TEST IS TO BE PERFORMED. TEST SHALL BE AS SET FORTH IN AWWA STANDARD C605. ANY LEAKS DETECTED SHALL BE CORRECTED AND THE SECTION OF PIPELINE RETESTED. THE TWO HOUR TEST PERIOD SHALL BEGIN WHEN ALL JOINTS HAVE BEEN DETERMINED TO BE WATER TIGHT. LEAKAGE SHALL BE LIMITED TO THAT ALLOWANCE SET FORTH IN SECTION 4 OF AWWA STANDARD C600 LATEST EDITION. HYDROSTATIC AND LEAKAGE TEST AND BLOW-DOWN (ZEROING OF GAUGE) MUST OCCUR BEFORE SAMPLING FOR BACTERIOLOGICAL TEST. THE MAXIMUM ALLOWABLE PRESSURE LOSS IS 5 PSI.

John P. Grady
 Digitally signed by John P. Grady
 Date: 2024.03.04 16:01:12 -05'00'

| NO. | BY | DATE | SYMBOL | REVISIONS |
|-----|-------|------|--------|------------|
| 6. | | | | |
| 5. | | | | |
| 4. | | | | |
| 3. | | | | |
| 2. | | | | |
| 1. | SJCUD | 2020 | | REVISION 1 |

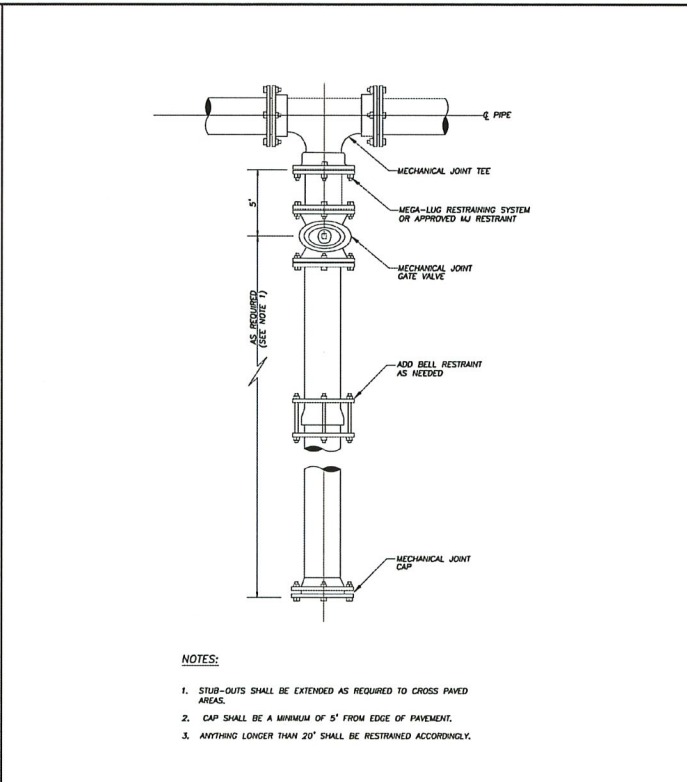
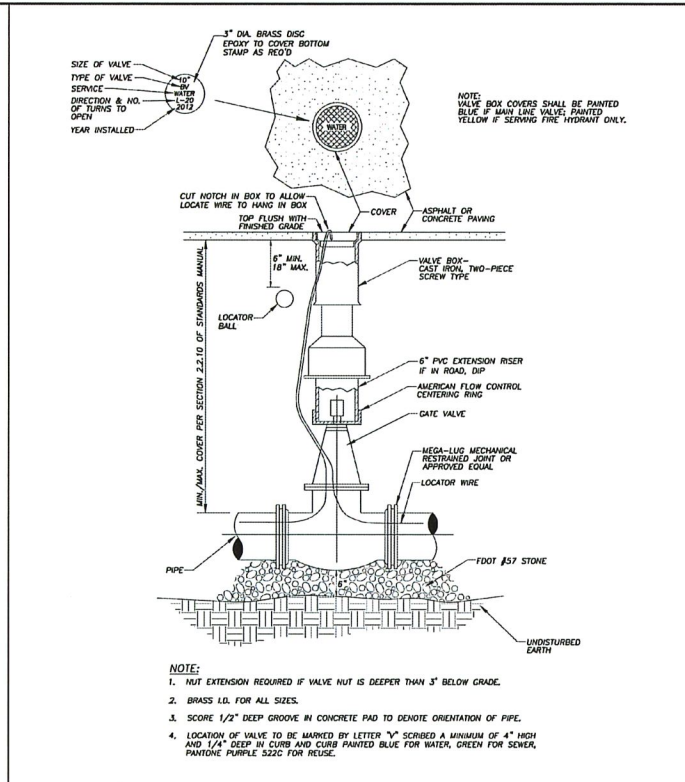
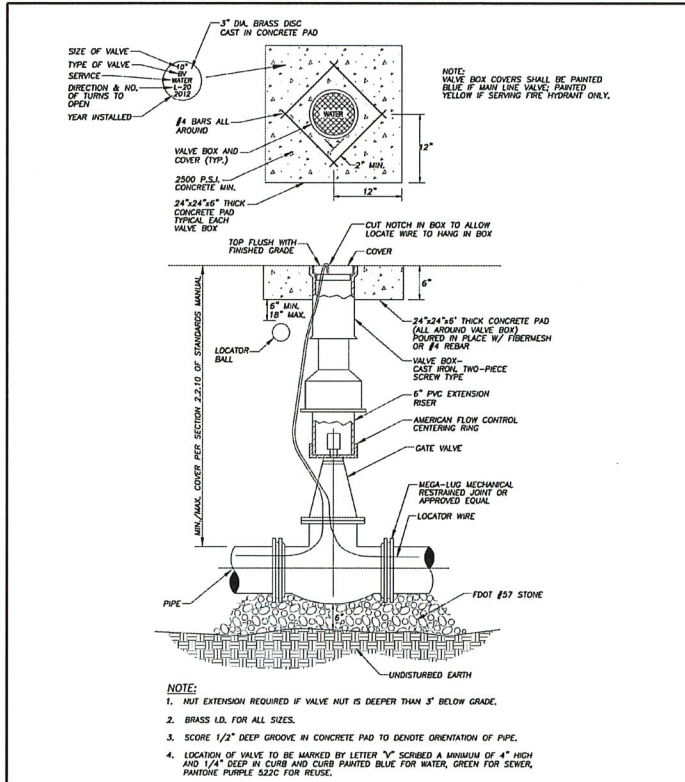
| DESIGNER: | DESIGN BY: |
|---------------|--------------------------|
| JOHN P. GRADY | JOHN P. GRADY |
| DATE: | DATE: |
| CHECKED BY: | FLORIDA REGISTRATION NO. |
| DATE: | 69322 |



ST. JOHNS COUNTY UTILITY DEPARTMENT
 1205 STATE ROAD 16
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GENERAL NOTES

| | |
|-------------|-----------|
| NO. SHEETS | |
| SHEET NO. | GN-1 |
| DRAWING NO. | GN-01.dwg |



| NOM. PIPE SIZE (IN.) | ELBOWS (DEG.) | | | | PLUG VALVE | VERTICAL BENDS (DEG.) | | | |
|----------------------|---------------|-------|-----|-----|------------|-----------------------|-------|-----|-----|
| | 11.25' | 22.5' | 45' | 90' | | 11.25' | 22.5' | 45' | 90' |
| 4 | 3 | 7 | 13 | 31 | 70 | 70 | 7 | 14 | 29 |
| 6 | 5 | 9 | 18 | 43 | 99 | 99 | 10 | 20 | 41 |
| 8 | 6 | 12 | 23 | 56 | 129 | 129 | 13 | 26 | 54 |
| 10 | 7 | 14 | 28 | 66 | 154 | 154 | 16 | 31 | 64 |
| 12 | 8 | 16 | 32 | 78 | 182 | 182 | 18 | 37 | 76 |
| 14 | 9 | 18 | 37 | 88 | 207 | 207 | 21 | 42 | 86 |
| 16 | 10 | 20 | 41 | 99 | 233 | 233 | 23 | 47 | 97 |
| 18 | 11 | 22 | 45 | 109 | 258 | 258 | 26 | 52 | 107 |
| 20 | 12 | 24 | 49 | 118 | 282 | 282 | 28 | 56 | 117 |

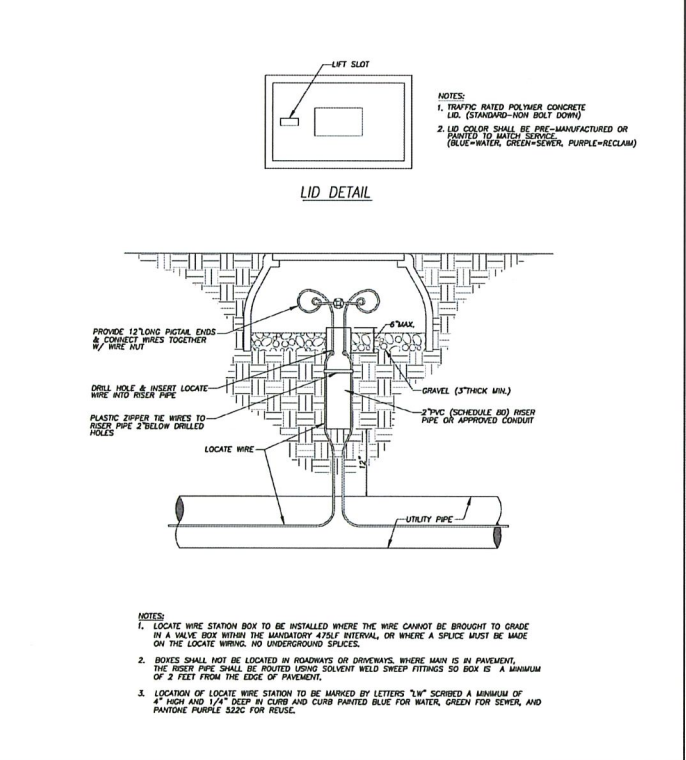
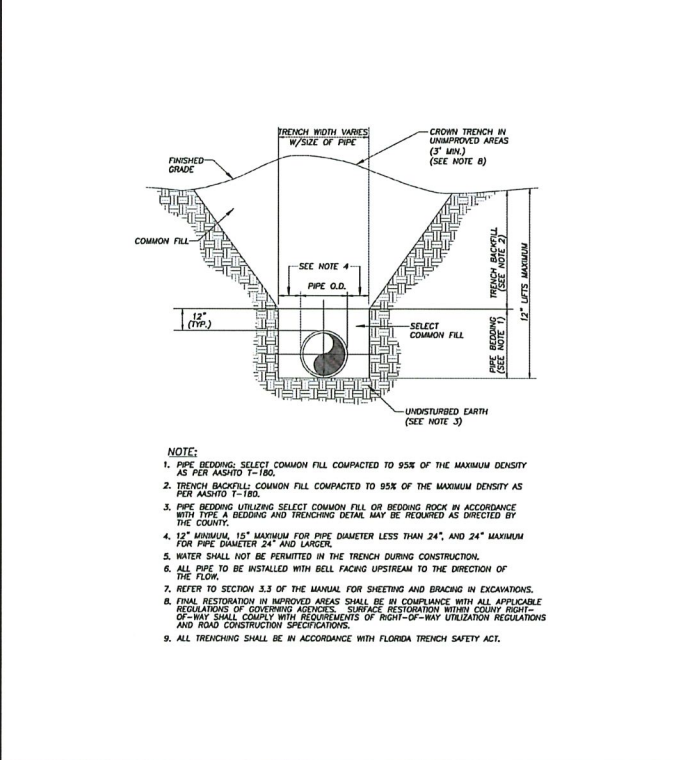
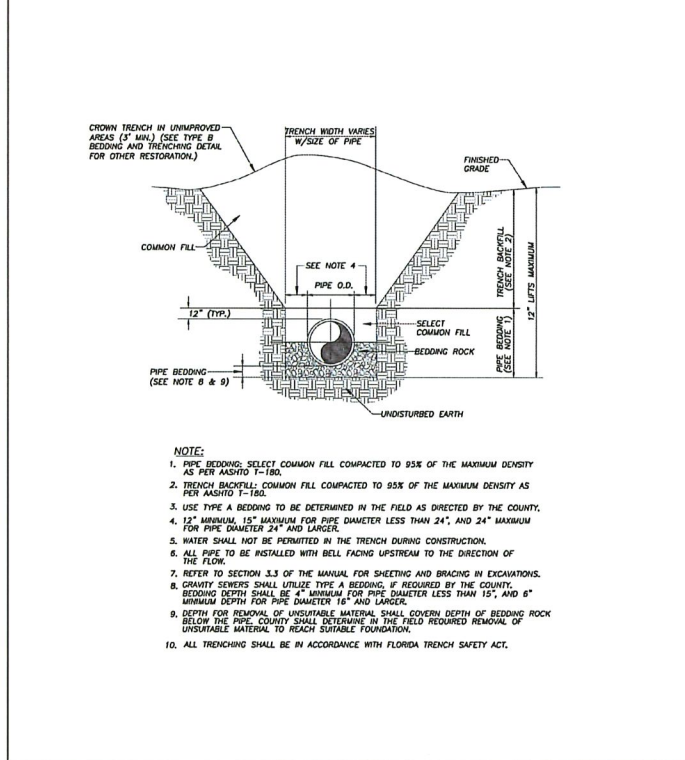
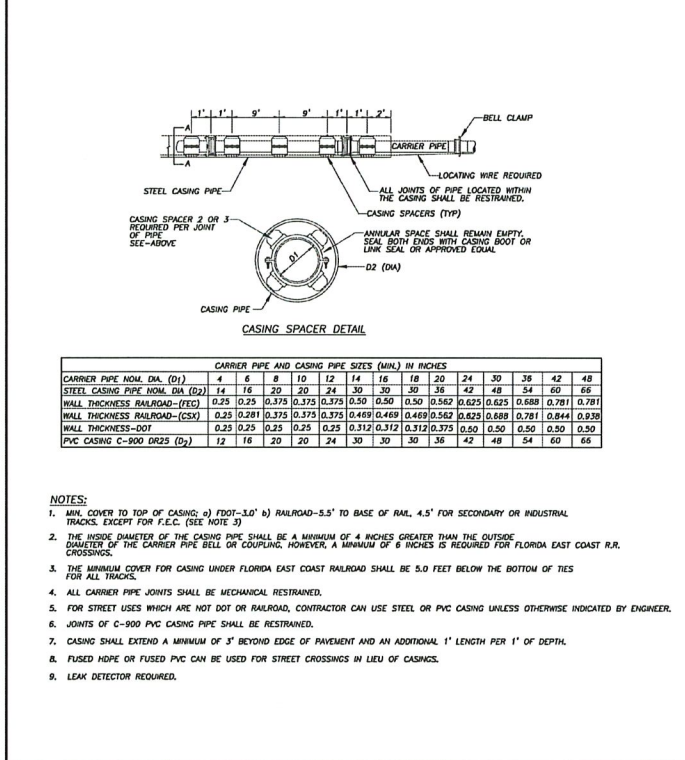
| NOM. PIPE SIZE (IN.) | TEES (*) (BRANCH SIDE ONLY) | | | | | | | | | | REDUCERS (**)(REDUCED SIDE) | | | | | | |
|----------------------|-----------------------------|----|----|----|----|----|-----|-----|-----|-----|-----------------------------|-----|-----|-----|-----|-----|----|
| | 4 | 6 | 8 | 10 | 12 | 14 | 16 | 18 | 20 | 24 | 4 | 6 | 8 | 10 | 12 | 14 | 16 |
| 4 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 25 | 51 | 51 | 51 | 51 | 51 | 51 | 51 |
| 6 | 25 | 25 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 35 | 93 | 93 | 93 | 93 | 93 | 93 | 93 |
| 8 | 25 | 25 | 25 | 54 | 54 | 54 | 54 | 54 | 54 | 54 | 126 | 126 | 126 | 126 | 126 | 126 | |
| 10 | 25 | 25 | 25 | 40 | 75 | 75 | 75 | 75 | 75 | 75 | 158 | 158 | 158 | 158 | 158 | 158 | |
| 12 | 25 | 25 | 25 | 25 | 62 | 94 | 94 | 94 | 94 | 94 | 187 | 187 | 187 | 187 | 187 | 187 | |
| 14 | 25 | 25 | 25 | 25 | 49 | 84 | 114 | 114 | 114 | 114 | 215 | 215 | 215 | 215 | 215 | 215 | |
| 16 | 25 | 25 | 25 | 25 | 36 | 72 | 102 | 133 | 133 | 133 | 242 | 242 | 242 | 242 | 242 | 242 | |
| 18 | 25 | 25 | 25 | 25 | 25 | 60 | 94 | 124 | 151 | 151 | 268 | 268 | 268 | 268 | 268 | 268 | |
| 20 | 25 | 25 | 25 | 25 | 25 | 25 | 60 | 94 | 124 | 151 | 268 | 268 | 268 | 268 | 268 | 268 | |

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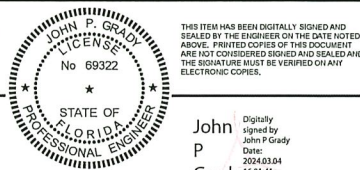
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| NO. | BY | DATE | SYMBOL | REVISIONS |
|-----|-------|------|--------|------------|
| 1. | SICUD | 2020 | | REVISION 1 |

DESIGNER: JOHN P. GRADY
 DRAWN BY: JOHN P. GRADY
 DATE: 2024.03.04
 CHECKED BY: JOHN P. GRADY
 DATE: 2024.03.04

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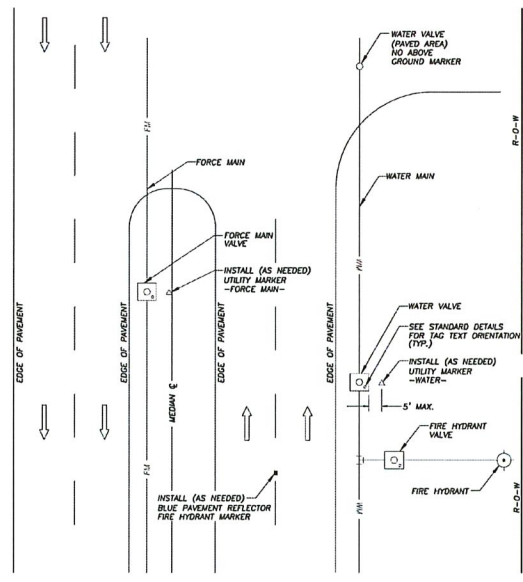
| NO. | BY | DATE | SYMBOL | REVISIONS |
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| 1. | SICUD | 2020 | | REVISION 1 |



John P. Grady
 Digitally signed by John P. Grady
 Date: 2024.03.04 16:01:41 -0500

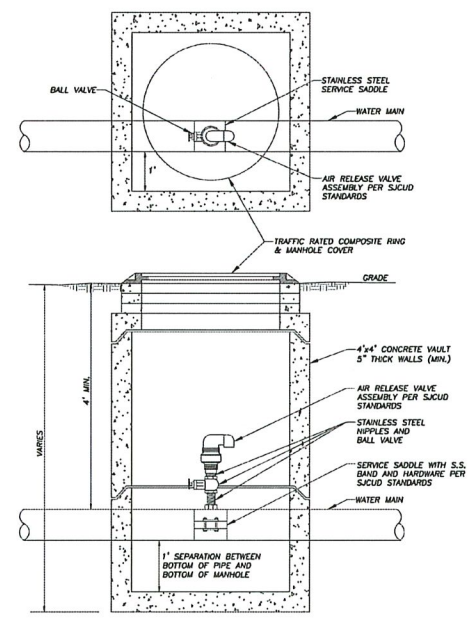
GENERAL DETAILS

| NO. SHEETS |
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| 0-1 |
| DRAWING NO. D-01.dwg |



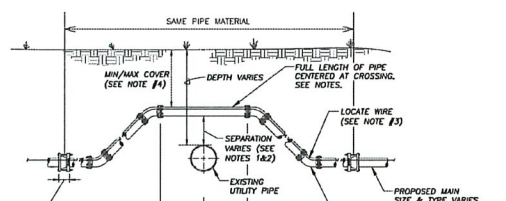
NOTES:

- INSTALL ABOVE GROUND UTILITY MARKER ADJACENT TO EXISTING VALVES AS SHOWN IN THIS EXAMPLE.
- VALVES LOCATED IN PAVEMENT DO NOT REQUIRE AN ABOVE GROUND MARKER.
- FIRE HYDRANTS DO NOT REQUIRE ABOVE GROUND MARKERS IF ISOLATION VALVE IS WITHIN 5' OF HYDRANT. BLUE PAVEMENT REFLECTORS SHALL MARK EXISTING FIRE HYDRANTS.



NOTE:

- VALVE ASSEMBLIES TO BE LOCATED OUTSIDE OF ROADWAY PAVING.
- PIPE PENETRATIONS SHALL BE WITH A FLEXIBLE MANHOLE SLEEVE.
- PIPE PENETRATIONS SHALL BE OFF CENTER SO EDGE OF PIPE IS 1 FOOT FROM INSIDE WALL.
- LID SHALL SPECIFY "WV" AND "WATER" OR "TRUSL".

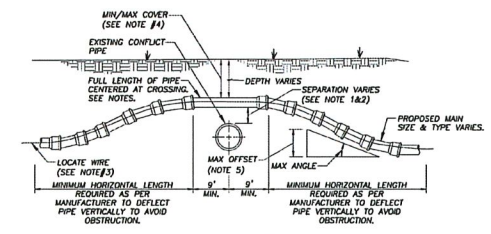


TYPE "A" CROSSING FITTING CROSSING

THE LENGTH OF THE PIPE TO BE RESTRAINED ON EACH SIDE OF BEND SHALL BE IN ACCORDANCE WITH TABLE FOR MECHANICAL RESTRAINT LENGTHS, (SEE RESTRAINED JOINT TABLE G-4).

NOTE:

- THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
- FOR MINIMUM VERTICAL SEPARATION REQUIREMENTS SEE GENERAL NOTES SHEET GN-1.
- LOCATING WIRE REQUIRED; SEE DETAIL G-8.
- THE COVER FOR PIPING 12" OR LESS SHALL BE 30" MIN./36" MAX. IN UNPAVED AREAS AND 36" MIN./42" MAX. IN PAVED AREAS, UNLESS PRE-APPROVED BY SUCUD. THE COVER FOR PIPING 16" OR LARGER SHALL BE 42" MIN./54" MAX. IN UNPAVED AND PAVED AREAS, UNLESS PRE-APPROVED BY SUCUD. SEE SECTION 2.2.10 OF STANDARDS MANUAL.



TYPE "A" CROSSING PIPE DEFLECTION CROSSING

NOTE:

- THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
- FOR MINIMUM VERTICAL SEPARATION REQUIREMENTS SEE GENERAL NOTES SHEET GN-1.
- LOCATING WIRE REQUIRED; SEE DETAIL G-8.
- THE COVER FOR PIPING 12" OR LESS SHALL BE 30" MIN./36" MAX. IN UNPAVED AREAS AND 36" MIN./42" MAX. IN PAVED AREAS, UNLESS PRE-APPROVED BY SUCUD. THE COVER FOR PIPING 16" OR LARGER SHALL BE 42" MIN./54" MAX. IN UNPAVED AND PAVED AREAS, UNLESS PRE-APPROVED BY SUCUD. SEE SECTION 2.2.10 OF STANDARDS MANUAL.
- SUCUD ONLY ALLOWS 50% OF THE PIPE MANUFACTURER'S RECOMMENDATION FOR JOINT DEFLECTION. BENDING THE PIPE BARREL IS NOT ALLOWED. THE MAXIMUM ARE LISTED IN TABLE BELOW. ONLY MANUAL FORCE CAN BE UTILIZED TO OBTAIN THESE JOINT DEFLECTIONS. ALL OFFSETS ARE BASED ON MINIMUM 20% OF PIPE LENGTH.

| PVC PIPE SIZE | MAX OFFSET (JOINT JOINT) |
|---------------|--------------------------|
| 4" | 19" |
| 6" | 12" |
| 8" | 10" |
| 10" | 8" |
| 12" | 7" |
| 16" & LARGER | 5" |

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TYPICAL ABOVE GROUND UTILITY MARKERS INSTALLATION
SCALE: N.T.S.

PLATE: G-9

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AIR VALVE ASSEMBLY WITH MANHOLE
SCALE: N.T.S.

PLATE: G-10

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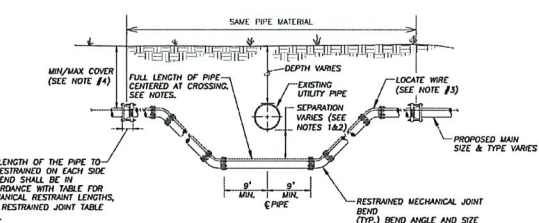
TYPE "A" PIPE CROSSING WITH FITTINGS
SCALE: N.T.S.

PLATE: G-11

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TYPE "A" PIPE CROSSING WITH DEFLECTION
SCALE: N.T.S.

PLATE: G-12

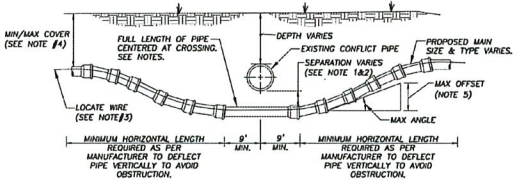


TYPE "B" CROSSING FITTING CROSSING

THE LENGTH OF THE PIPE TO BE RESTRAINED ON EACH SIDE OF BEND SHALL BE IN ACCORDANCE WITH TABLE FOR MECHANICAL RESTRAINT LENGTHS, (SEE RESTRAINED JOINT TABLE G-4).

NOTE:

- THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
- FOR MINIMUM VERTICAL SEPARATION REQUIREMENTS SEE GENERAL NOTES SHEET GN-1.
- LOCATING WIRE REQUIRED; SEE DETAIL G-8.
- THE COVER FOR PIPING 12" OR LESS SHALL BE 30" MIN./36" MAX. IN UNPAVED AREAS AND 36" MIN./42" MAX. IN PAVED AREAS, UNLESS PRE-APPROVED BY SUCUD. THE COVER FOR PIPING 16" OR LARGER SHALL BE 42" MIN./54" MAX. IN UNPAVED AND PAVED AREAS, UNLESS PRE-APPROVED BY SUCUD. SEE SECTION 2.2.10 OF STANDARDS MANUAL.

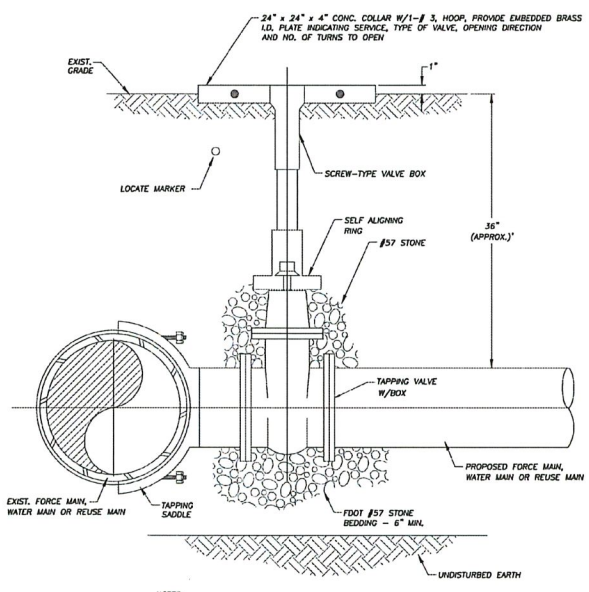


TYPE "B" CROSSING PIPE DEFLECTION CROSSING

NOTE:

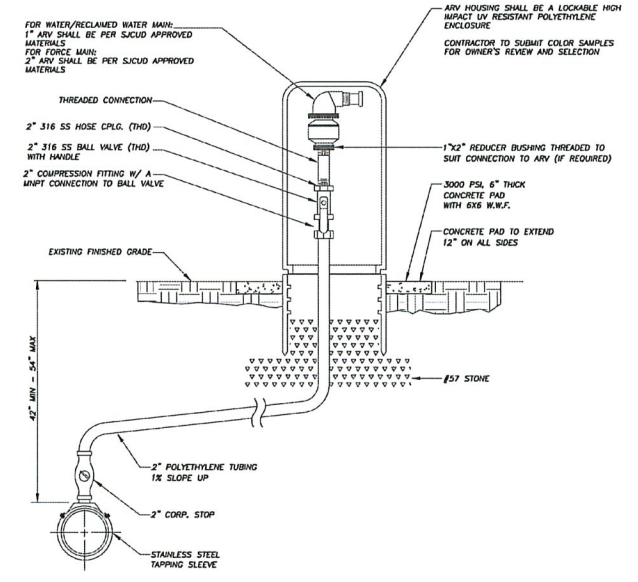
- THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
- FOR MINIMUM VERTICAL SEPARATION REQUIREMENTS SEE GENERAL NOTES SHEET GN-1.
- LOCATING WIRE REQUIRED; SEE DETAIL G-8.
- THE COVER FOR PIPING 12" OR LESS SHALL BE 30" MIN./36" MAX. IN UNPAVED AREAS AND 36" MIN./42" MAX. IN PAVED AREAS, UNLESS PRE-APPROVED BY SUCUD. THE COVER FOR PIPING 16" OR LARGER SHALL BE 42" MIN./54" MAX. IN UNPAVED AND PAVED AREAS, UNLESS PRE-APPROVED BY SUCUD. SEE SECTION 2.2.10 OF STANDARDS MANUAL.
- SUCUD ONLY ALLOWS 50% OF THE PIPE MANUFACTURER'S RECOMMENDATION FOR JOINT DEFLECTION. BENDING THE PIPE BARREL IS NOT ALLOWED. THE MAXIMUM ARE LISTED IN TABLE BELOW. ONLY MANUAL FORCE CAN BE UTILIZED TO OBTAIN THESE JOINT DEFLECTIONS. ALL OFFSETS ARE BASED ON MINIMUM 20% OF PIPE LENGTH.

| PVC PIPE SIZE | MAX OFFSET (JOINT JOINT) |
|---------------|--------------------------|
| 4" | 19" |
| 6" | 12" |
| 8" | 10" |
| 10" | 8" |
| 12" | 7" |
| 16" & LARGER | 5" |



NOTES:

- RESILIENT WEDGE GATE VALVE SHALL BE EPOXY COATED.
- TAPPING SADDLE SHALL BE STAINLESS STEEL.
- SELF-CENTERED ALIGNMENT RING.



NOTE:

- FINAL ENCLOSURE LOCATION SHALL BE COORDINATED WITH AND APPROVED BY OWNER.
- ARY TO BE SUPPLIED WITH INSECT SCREENS.
- ARY SHALL BE LABELED FOR SERVICE TYPE USING STAINLESS STEEL, ENGRAVED VALVE TAGS.
- ARY HOUSING SHALL BE SIZED ACCORDING TO SERVICE TYPE AND LOCATION.

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1205 STATE ROAD 16
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TYPE "B" PIPE CROSSING WITH FITTINGS
SCALE: N.T.S.

PLATE: G-13

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TYPE "B" PIPE CROSSING WITH DEFLECTION
SCALE: N.T.S.

PLATE: G-14

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TAPPING SADDLE & TAPPING VALVE DETAIL
SCALE: N.T.S.

PLATE: G-15

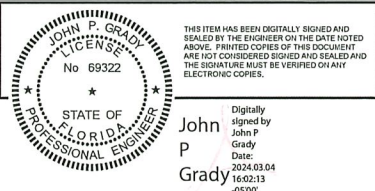
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ABOVE GROUND AIR RELEASE VALVE
SCALE: N.T.S.

PLATE: G-16

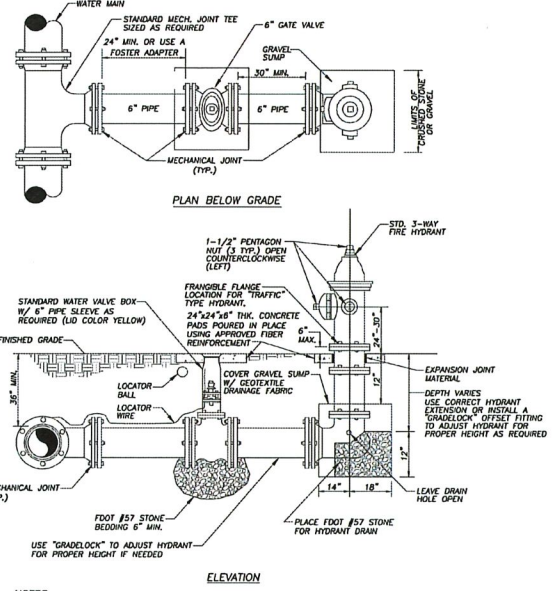
| NO. | BY | DATE | SYMBOL |
|-----|-------|------|------------|
| 1. | SUCUD | 2020 | REVISION 1 |

DESIGNER: JOHN P. GRADY
DRAWN BY: JOHN P. GRADY
DATE: 2024.03.04
CHECKED BY:
DATE: 16:02:13 05/00

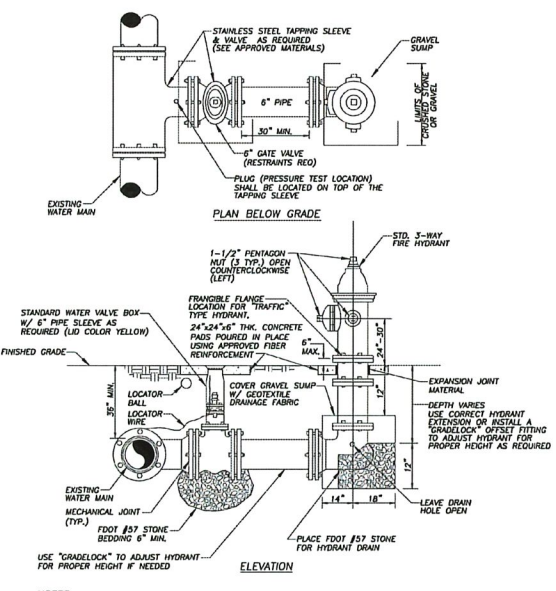


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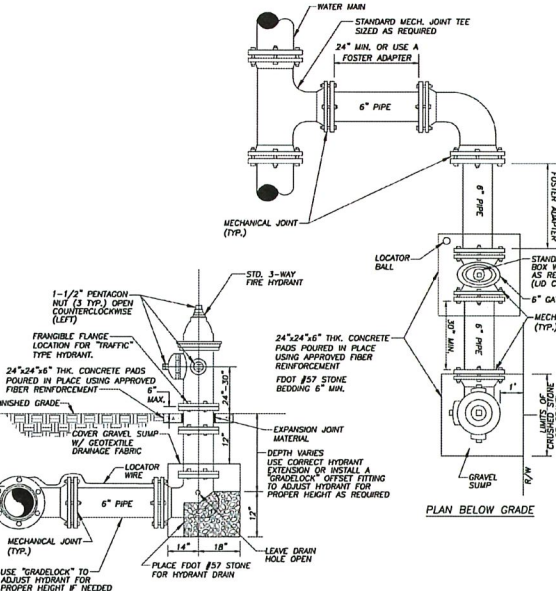
GENERAL DETAILS
NO. SHEETS D-2
SHEET NO. D-2
DRAWING NO. D-02.dwg



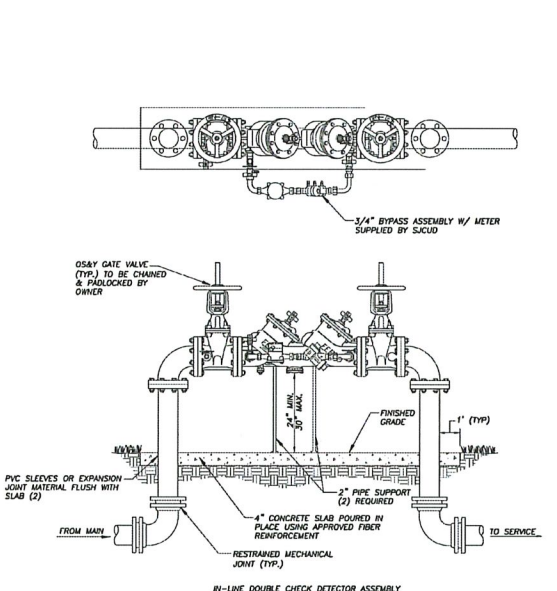
- NOTES:**
1. FIRE HYDRANTS SHALL HAVE 5 1/4\"/>
 - 2. FIRE HYDRANTS SHALL BE PAINTED CHROME YELLOW IN ACCORDANCE WITH CURRENT ST. JOHNS COUNTY LAND DEVELOPMENT CODE.
 - 3. INSTALL BLUE TRAFFIC SPOTTERS AS PER LOCAL FIRE CODE REQUIREMENTS.
 - 4. FIRE HYDRANTS TO BE 3'-5\"/>
 - 5. NO FIRE HYDRANTS SHALL BE LOCATED AT STREET CORNERS.
 - 6. HYDRANTS IN SUBDIVISIONS SHOULD BE LOCATED ON LOT LINES.



- NOTES:**
1. FIRE HYDRANTS SHALL HAVE 5 1/4\"/>
 - 2. FIRE HYDRANTS SHALL BE PAINTED CHROME YELLOW. PRIVATE FIRE HYDRANTS SHALL BE PAINTED RED.
 - 3. INSTALL BLUE TRAFFIC SPOTTERS AS PER LOCAL FIRE CODE REQUIREMENTS.
 - 4. FIRE HYDRANT SHALL BE 3' - 10' FROM THE BACK OF CURB.
 - 5. NO FIRE HYDRANTS SHALL BE LOCATED AT STREET CORNERS.
 - 6. HYDRANTS IN SUBDIVISIONS SHOULD BE LOCATED ON LOT LINES.



- NOTES:**
1. FIRE HYDRANTS SHALL HAVE 5 1/4\"/>
 - 2. FIRE HYDRANTS SHALL BE PAINTED CHROME YELLOW. PRIVATE FIRE HYDRANTS SHALL BE PAINTED RED.
 - 3. INSTALL BLUE TRAFFIC SPOTTERS AS PER LOCAL FIRE CODE REQUIREMENTS.
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 - 5. NO FIRE HYDRANTS SHALL BE LOCATED AT STREET CORNERS.
 - 6. HYDRANTS IN SUBDIVISIONS SHOULD BE LOCATED ON LOT LINES.



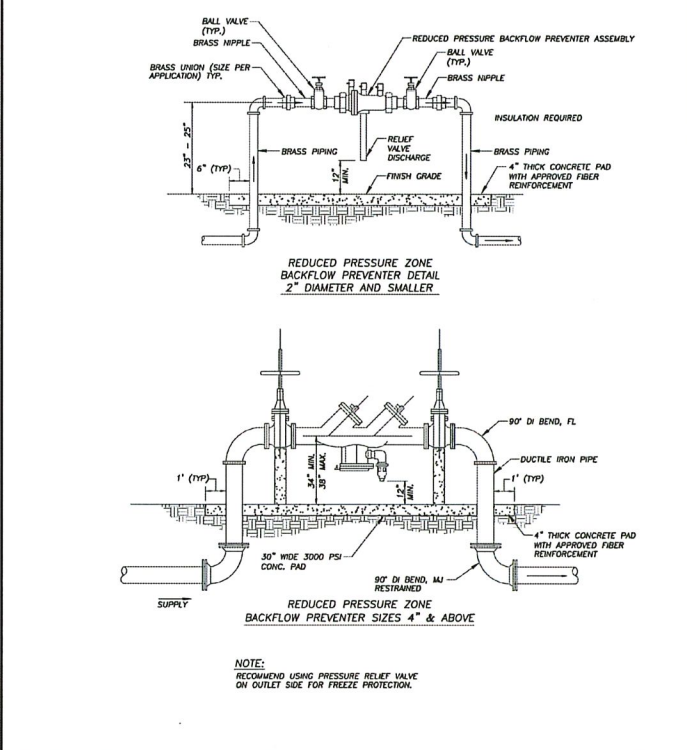
- NOTES:**
1. FIRE HYDRANTS SHALL HAVE 5 1/4\"/>
 - 2. FIRE HYDRANTS SHALL BE PAINTED CHROME YELLOW. PRIVATE FIRE HYDRANTS SHALL BE PAINTED RED.
 - 3. INSTALL BLUE TRAFFIC SPOTTERS AS PER LOCAL FIRE CODE REQUIREMENTS.
 - 4. FIRE HYDRANT SHALL BE 3' - 10' FROM THE BACK OF CURB.
 - 5. NO FIRE HYDRANTS SHALL BE LOCATED AT STREET CORNERS.
 - 6. HYDRANTS IN SUBDIVISIONS SHOULD BE LOCATED ON LOT LINES.

| REVISIONS | ST. JOHNS COUNTY UTILITY DEPARTMENT | FIRE HYDRANT INSTALLATION USING MECHANICAL JOINT TEE | PLATE: W-1 |
|-----------------|---|--|------------|
| Date: _____ | 1205 STATE ROAD 16 ST. AUGUSTINE, FLORIDA 32084 Phone (904) 209-2700 • Fax (904) 209-2002 | SCALE: N.T.S. | |
| 2020 REVISION 1 | | | |

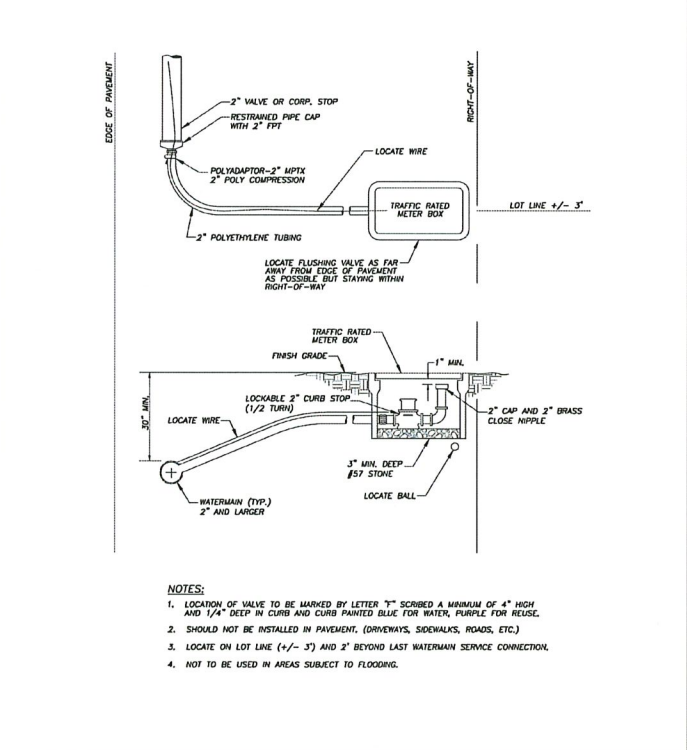
| REVISIONS | ST. JOHNS COUNTY UTILITY DEPARTMENT | FIRE HYDRANT INSTALLATION USING TAPPING SLEEVE AND VALVE | PLATE: W-2 |
|-----------------|---|--|------------|
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| REVISIONS | ST. JOHNS COUNTY UTILITY DEPARTMENT | LIMITED SPACE FIRE HYDRANT INSTALLATION | PLATE: W-3 |
|-----------------|---|---|------------|
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| 2020 REVISION 1 | | | |

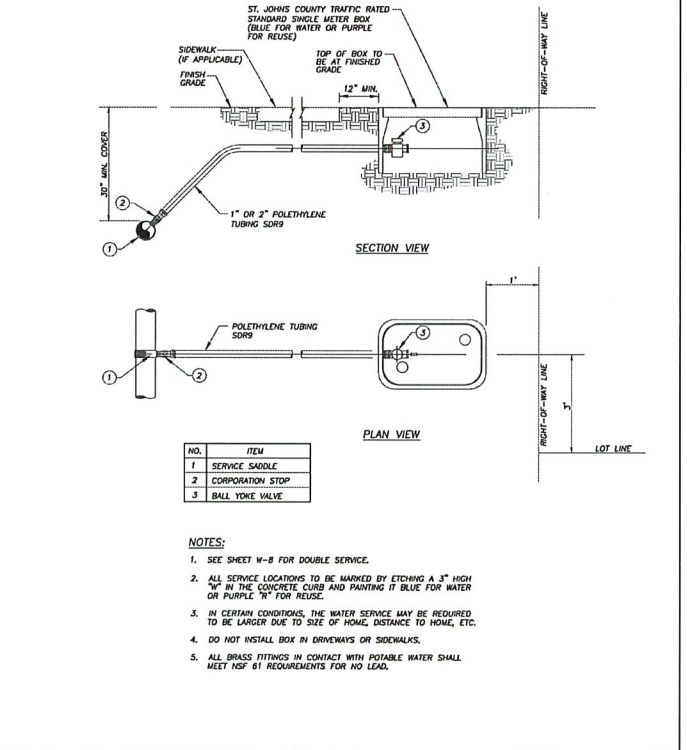
| REVISIONS | ST. JOHNS COUNTY UTILITY DEPARTMENT | DOUBLE CHECK DETECTOR ASSEMBLY | PLATE: W-4 |
|-----------------|---|--------------------------------|------------|
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| 2020 REVISION 1 | | | |



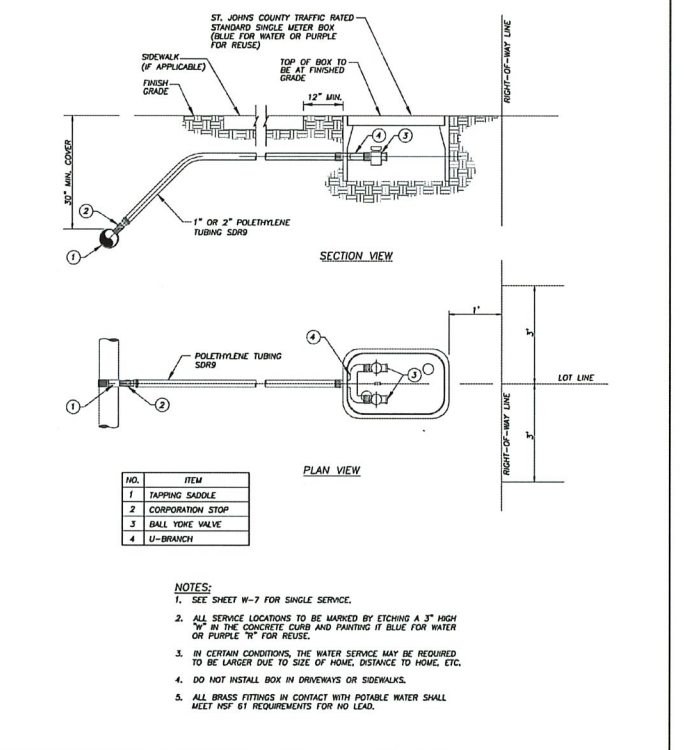
| REVISIONS | ST. JOHNS COUNTY UTILITY DEPARTMENT | TYPICAL REDUCED PRESSURE ZONE ASSEMBLY | PLATE: W-5 |
|-----------------|---|--|------------|
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| REVISIONS | ST. JOHNS COUNTY UTILITY DEPARTMENT | 2\"/> <th>PLATE: W-6</th> | PLATE: W-6 |
|-----------------|---|---------------------------|------------|
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| 2020 REVISION 1 | | | |



| REVISIONS | ST. JOHNS COUNTY UTILITY DEPARTMENT | WATER SERVICES SINGLE SERVICE | PLATE: W-7 |
|-----------------|---|-------------------------------|------------|
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| 2020 REVISION 1 | | | |



| REVISIONS | ST. JOHNS COUNTY UTILITY DEPARTMENT | WATER SERVICES DOUBLE SERVICE | PLATE: W-8 |
|-----------------|---|-------------------------------|------------|
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| 2020 REVISION 1 | | | |

| NO. | BY | DATE | SYMBOL | REVISIONS |
|-----|------|------|--------|------------|
| 1. | SJCU | 2020 | | REVISION 1 |

DESIGNER: JOHN P. GRADY
 DRAWN BY: JOHN P. GRADY
 DATE: 2024.03.04
 CHECKED BY: JOHN P. GRADY
 DATE: 16.02.19

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY THE ENGINEER ON THE DATE NOTED ABOVE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ST. JOHNS COUNTY UTILITY DEPARTMENT
 1205 STATE ROAD 16
 ST. AUGUSTINE, FLORIDA 32084-8646
 Phone (904) 209-2700 • Fax (904) 209-2702

| NO. SHEETS |
|----------------------|
| SHEET NO. 0-3 |
| DRAWING NO. D-03.dwg |